



A meeting of the **DEVELOPMENT MANAGEMENT COMMITTEE** will be held in **THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN** on **MONDAY, 20TH MAY 2024** at **7:00 PM** and you are requested to attend for the transaction of the following business:-

AGENDA

PLEASE NOTE THE ORDER OF THE AGENDA MAY CHANGE

APOLOGIES

1. MINUTES (Pages 5 - 12)

To approve as a correct record the Minutes of the meeting held on 22nd April 2024.

2. MEMBERS' INTERESTS

To receive from Members declarations as to disclosable pecuniary, other registerable and non-registerable interests in relation to any Agenda item. See Notes below.

3. DEVELOPMENT MANAGEMENT - DEFERRED ITEM

To consider reports by the Planning Service Manager (Development Management).

(a) Spaldwick- 23/01948/FUL (Pages 13 - 98)

Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL) - Land East of Ivy Way Spaldwick.

4. APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

To consider reports by the Planning Service Manager (Development Management).

(a) Brampton - 23/02498/FUL (Pages 99 - 116)

Change of use from shop to dwelling (Class C3) – Shop, 43 High Street, Brampton, PE28 4TG.

(b) Abbotsley - 24/00075/FUL (Pages 117 - 150)

Siting of a mobile home as defined by the Caravan Act without concrete foundations - Whites Paddock, Pitsdean Road, Abbotsley.

(c) Brington and Molesworth - 23/02123/FUL (Pages 151 - 212)

Erection of three houses - Land South of Hill Place, Brington.

(d) Godmanchester - 23/02284/FUL (Pages 213 - 242)

Change of use from hardstanding storage area to container storage area - Agricultural Buildings, Depden Lodge Farm, Ermine Street.

5. APPEAL DECISIONS (Pages 243 - 244)

To consider a report by the Planning Service Manager (Development Management).

LATE REPRESENTATIONS

8 day of May 2024

Michelle Sacks

Chief Executive and Head of Paid Service

Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests

Further information on [Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests is available in the Council's Constitution](#)

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Please contact Anthony Roberts, Democratic Services, Tel: 01480 388015 / email Anthony.Roberts@huntingdonshire.gov.uk if you have a general query on any Agenda Item, wish to tender your apologies for absence from the meeting, or would like information on any decision taken by the Committee.

Specific enquiries with regard to items on the Agenda should be directed towards the Contact Officer.

Members of the public are welcome to attend this meeting as observers except during consideration of confidential or exempt items of business.

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HUNTINGDONSHIRE DISTRICT COUNCIL

MINUTES of the meeting of the DEVELOPMENT MANAGEMENT COMMITTEE held in THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN on Monday, 22nd April 2024

PRESENT: Councillor D L Mickelburgh – Chair.

Councillors R J Brereton, E R Butler, I D Gardener, K P Gulson, P A Jordan, S R McAdam, S Mokbul, J Neish, T D Sanderson, R A Slade and S Wakeford.

APOLOGIES: Apologies for absence from the meeting were submitted on behalf of Councillors S J Corney, D B Dew, M A Hassall and C H Tevlin.

57 MINUTES

The Minutes of the meeting of the Committee held on 18th March 2024 were approved as a correct record and signed by the Chair.

58 MEMBERS' INTERESTS

Councillor T Sanderson declared a Non-Registerable Interest in Minute No 60 by virtue of the fact that the application related to the Ward he represented.

Councillor K Gulson declared a Non-Registerable Interest in Minute No 62 (c) by virtue of the fact that the application related to the Ward he represented.

Councillor S McAdam declared a Non-Registerable Interest in Minute No 60 by virtue of the fact that the application related to the Ward he represented.

Councillor I Gardener declared an Other Registrable Interest in Minute No 60 by virtue of the fact that the application related to the area he represented as a Member of the District Council and as a Member of Cambridgeshire County Council.

Councillor I Gardener also declared an Other Registrable Interest in Minute No 62 (b) by virtue of the fact that the application related to the area he represented as a Member of the District Council and as a Member of Cambridgeshire County Council.

Councillor S Mokbul declared an Other Registrable Interest in Minute No 62 (a) by virtue of the fact that she was a Member of St Ives Town Council.

Councillor E Butler declared a Non-Registrable Interest in Minute No 62 (c) by virtue of the fact that the application related to the Ward he represented.

Councillor D Mickelburgh declared a Non-Registrable Interest in Minute No 59 (a) by virtue of the fact that the application related to the Ward she represented.

Councillor S Wakeford declared a Disclosable Pecuniary Interest in Minute No 61 by virtue of the fact that his partner was a GP Partner at Buckden and Little Paxton Surgeries.

Councillor R Slade declared an Other Registrable Interest in Minute No 59 (b) by virtue of the fact that he was a Member of St Neots Town Council, he left the room and took no part in the discussion or voting on the item.

Councillor R Slade also declared an Other Registrable Interest in Minute No 59 (b) by virtue of the fact that he was a Member of St Neots Town Council, he left the room and took no part in the discussion or voting on the item.

59 APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

The Planning Service Manager (Development Management) submitted reports (copies of which are appended in the Minute Book) on applications for development to be determined by the Committee. Members were advised of further representations, which had been received since the reports had been prepared. Whereupon, it was

RESOLVED

- a) **Insertion of 2 no rooflights to south facing roof slope of existing single-storey rear projection; revised fenestration to south facing elevation of existing single storey rear projection; proposed single-storey rear extension partly replacing existing single-storey lean to wood store (part of original dwellinghouse) - 73 High Street, Offord Darcy St Neots - 24/00089/CLPD**

See Minute No 58 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

- b) **Erection of 4 town houses (two pairs of semi detached dwellings) Re siting of vehicular access - Elm Lodge, Potton Road, Eynesbury - 22/01977/FUL**

See Minute No 58 for Members' interests.

that the application be refused for the following reasons:

- a) The proposal would result in the introduction of two pairs of semi-detached dwellings whose design would be incongruous with the dominant character and appearance of the street scene. Furthermore, the siting and scale of the proposal would result in a cramped, over-development of the site resulting in inadequate private amenity spaces for the proposed dwellings that would be uncharacteristic of properties in the

locality and would result in detrimental impacts on the street scene of Potton Road. As such, the proposal is considered to be contrary to Policies LP11, LP12 and LP14 of the Huntingdonshire Local Plan to 2036, the Huntingdonshire Design Guide SPD (2017), the National Design Guide and Section 12 of the NPPF (2023).

- b) The proposal fails to demonstrate that the dwellings on plots 3 and 4 would not result in the increased overlooking and the perception of being overlooked to the rear gardens of No. 125 and 129 Potton Road. Accordingly, the proposal fails to maintain the standard of amenity currently experienced by users and occupiers of Nos. 125 & 129 Potton Road in conflict with Policy LP14 of the Huntingdonshire Local Plan to 2036 and the NPPF (2023).
- c) As a result of the distance between the rear elevation of the dwelling on plot 2 and the flank elevation of the dwelling on plot 3, the dwelling on plot 3 would appear overbearing and visually intrusive when viewed from the windows in the rear elevations and rear gardens of the dwellings on plots 1 and 2. The location of the roof lights in plot 1 could also permit the direct overlooking of the rear gardens of the dwellings on plots 3 and 4. Accordingly by virtue of the design, siting and proximity of the dwellings within the site, the proposed development would have a harmful impact upon the amenities of the future occupiers of the dwellings contrary to Policy LP14 of the Huntingdonshire Local Plan to 2036, the Huntingdonshire Design Guide Supplementary Planning Document (2017) and the guidance in the National Planning Policy Framework (2023).
- d) The proposed development by virtue of the sub-standard size of the accommodation in the dwellings and related gardens, would lead to a poor standard of accommodation and amenity for the future occupiers and is unlikely to provide sufficient space to satisfy the needs of a family. The proposed development is therefore contrary to Policy LP14 of the Huntingdonshire Local Plan to 2036, the Huntingdonshire Design Guide Supplementary Planning Document (2017) and the National Planning Policy Framework (2021).
- e) Due to the lack of information regarding visibility splays and adequate access dimensions, the Local Planning Authority are not able to make a comprehensive assessment in regard to the impact of the proposal on highway safety. The parking spaces for Plot 1 also appears to be of inadequate dimensions and is likely to result in a vehicle being parked in the shared area thus reducing the turning space for the other properties' vehicles. The proposal therefore fails to demonstrate that there will be no adverse highway safety impacts and is considered contrary to Policy LP17 of Huntingdonshire's Local Plan to 2036 and section 9 of the National Planning Policy Framework (2023).
- f) The application is not accompanied by an accurately completed Unilateral Undertaking for the provision of wheeled bins and therefore fails to comply with part H of the Developer Contributions Supplementary Planning Document (2011) and Policy LP4 of the Huntingdonshire Local Plan to 2036.

60 DEVELOPMENT MANAGEMENT - SECTION 106 AGREEMENT - VARIATION OF CONDITIONS 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 18, 20, 24, 26 AND 28 FOR APPLICATION 1201158OUT - AMENDED WORDING (SEE COVERING LETTER, APPENDIX 1), ALCONBURY WEALD, ERMINE STREET, LITTLE STUKELEY - 19/01320/S73.

OUTLINE PLANNING PERMISSION (ALL MATTERS RESERVED) FOR A MIXED-USE PHASED DEVELOPMENT TO INCLUDE - RESIDENTIAL DEVELOPMENT OF UP TO 1,500 DWELLINGS (C2 AND C3), LOCAL CENTRE INCLUDING RETAIL AND COMMUNITY FACILITIES (A1-A5 AND D1), OPEN SPACE, PLAY AREAS, RECREATION FACILITIES, LANDSCAPING, ASSOCIATED DEMOLITION, GROUND WORKS AND INFRASTRUCTURE - GRANGE FARM, ALCONBURY WEALD, ERMINE ST, LITTLE STUKELEY - 19/01341/OUT.

(Councillor D Cole, Huntingdon Town Council, and J Dawson, applicant, addressed the Committee on the application).

See Minute No 58 for Members' interests.

With the aid of a report by the Planning Service Manager (Development Management) the Committee considered an application for the variation of conditions 1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 18, 20, 24, 26 and 28 for application 1201158OUT Amended wording (see covering letter, appendix 1), Alconbury Weald, Ermine Street, Little Stukeley and an application for "outline planning permission (all matters reserved) for a mixed-use phased development to include residential development of up to 1,500 dwellings (C2 and C3), local centre including retail and community facilities (A1-A5 and D1), open space, play areas, recreation facilities, landscaping, associated demolition, ground works and infrastructure" at Grange Farm, Alconbury Weald, Ermine Street, Little Stukeley. A copy of the report is appended in the Minute Book.

Members were acquainted with the views of the Section 106 Agreement Advisory Group on the proposed obligation. They then discussed its terms relating to affordable housing, transport interventions and sport facilities. Having taken into account relevant local and national planning policies, it was

RESOLVED

- a) that, subject to conditions as set out in Appendix B to the report now submitted and completion of a S106 Agreement to link the permission to the terms of the original 2012 permission, the Chief Planning Officer be authorised to approve application 19/01320/S73 or refuse it in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.
- b) that, the Chief Planning Officer be authorised to approve application 19/01341/OUT subject to conditions including those listed in paragraph 9 of the report now submitted, completion of a

S106 Agreement, and minor revisions to the Key Phase A Design Code or refuse the application in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

61 DEVELOPMENT MANAGEMENT - SECTION 106 AGREEMENT - OUTLINE APPLICATION INCLUDING MATTERS OF ACCESS, APPEARANCE, LAYOUT AND SCALE (LANDSCAPING RESERVED FOR FUTURE CONSIDERATION) FOR 26 DWELLINGS - LAND AT RIVERSFIELD, GREAT NORTH ROAD, LITTLE PAXTON - 22/01594/OUT

(Councillor R Tomlinson, Little Paxton Parish Council, and D Joseph, applicant, addressed the Committee on the application).

See Minute No 58 for Members' interests.

Consideration was given to a report by the Planning Service Manager (Development Management) on an outline application including matters of access, appearance, layout and scale with landscaping reserved for future consideration, for 26 dwellings on land at Riversfield, Great North Road, Little Paxton. A copy of the report is appended in the Minute Book. The views of the Section 106 Agreement Advisory Group on the proposed obligation were reported and, following a question by a Member, the proposals for maintenance of open space were outlined. Having taken into account relevant local and national planning policies, it was

RESOLVED

that, subject to completion of a S106 Agreement and to conditions including those listed in paragraph 9 of the report now submitted, the Chief Planning Officer be authorised to approve the application or refuse it in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

At 8.00 pm the meeting was adjourned.

At 8.12 pm the meeting resumed.

62 APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

The Planning Service Manager (Development Management) submitted reports (copies of which are appended in the Minute Book) on applications for development to be determined by the Committee. Members were advised of further representations, which had been received since the reports had been prepared. Whereupon, it was

RESOLVED

- a) **Conversion of existing church parish hall to 3 residential units (Use Class C3) - The Church Hall Ramsey Road St Ives PE27 5BZ - 23/01699/FUL**

(I Dobson, objector, and Dr R Wickham, agent, addressed the Committee on the application).

See Minute No 58 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

At 9.20 pm the meeting was adjourned.

At 9.25 pm the meeting resumed.

- b) **Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL) - Land East of Ivy Way Spaldwick - 23/01948/FUL**

(Councillor S Parfrey, Spaldwick Parish Council, K Pope, objector, and G Hutchinson, agent, addressed the Committee on the application).

See Minute No 58 for Members' interests.

that the application be deferred to enable further consideration to be given to flooding and drainage including consultation with the Environment Agency and to traffic in relation to the A14.

- c) **Garage conversion to create Beauty Salon (Change of Use) - 36 Shackleton Way, Yaxley - 24/00242/FUL**

(Councillor P Russell, Yaxley Parish Council, and R Crowley, applicant, addressed the Committee on the application).

See Minute No 58 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

63 APPEAL DECISIONS

The Committee received and noted a report by the Planning Service Manager (Development Management), which contained details of nine recent decisions by the Planning Inspectorate. A copy of the report is appended in the Minute Book.

RESOLVED

that the contents of the report be noted.

Chair

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DEVELOPMENT MANAGEMENT COMMITTEE 20th MAY 2024

Case No: 23/01948/FUL

Proposal: Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL)

Location: Land East Of Ivy Way, Spaldwick

Applicant: Blenheim Land And Homes Ltd

Grid Ref: 513245 272619

Date of Registration: 23.10.2023

Parish: Spaldwick

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as the Parish Council's recommendation of refusal is contrary to the officer recommendation of approval.

0. UPDATE

- 0.1 This application was presented to members of the DMC on the 22nd April 2024 with officer recommendation of approval. Following a lengthy discussion regarding the application, officers recommended to defer the item to include the Environment Agency to be part of the discussion about flood risk and drainage. It should be noted that members agreed with the deferral recommended by officers but also requested officers to revisit the highway safety element of the proposal due to the site being located between the village and the exit from the A14, and the parking of HGV's near the proposed site access.
- 0.2 Comments have been provided by the EA these are referenced and evaluated in the report below.
- 0.3 The vast majority of the report remains unchanged from the report published on the 22nd April 2024 DMC agenda.
- 0.4 The following sections of the report have been amended to take into account paragraphs 0.1 and 0.2 of the updated report:
 - Addition of EA comments on paragraph 5.20.

- Flood risk section paragraphs 7.32 - 7.34 updated with Environment Agency comments and assessment.
- Paragraphs 7.113 and 7.114 have been updated to include Highway Safety considerations.

0.5 In summary it is concluded that both flood risk, drainage and highway safety impacts remain acceptable in this instance and the officer recommendation to approve the proposal subject to conditions and Section 106 Legal Agreement has not changed.

1. DESCRIPTION OF SITE AND APPLICATION

Site and surrounding area

- 1.0 The site lies east of the main built-up area of Spaldwick and as defined in the Huntingdonshire Local Plan to 2036 (2019), is located within the open countryside.
- 1.1 The site is broadly rectangular in shape and covers an area of approximately 0.81 hectares, comprising of an open agricultural field with a public right of way (footpath 12) running north-south at an angle through the site.
- 1.2 The site is bordered by trees on its western side with a drain and ditch running north to south and the rear of residential dwellings beyond on Ivy Way.
- 1.3 To the south lies open agricultural land. The east the site is bound by a drain and ditch running north to south with open countryside beyond.
- 1.4 The site fronts Spaldwick High Street to the north, and features an existing access to the north-west, with trees and hedging leading eastwards with a drain and ditch running east-west which is interrupted by the site access.
- 1.5 On the opposite side of the site is a pumping station, a cul-de-sac with 5 dwellings and a service station.
- 1.6 Access to the site is from High Street to the north. This access sits approximately 136 metres from the junction where the High Street meets Thrapston Road and both slip roads serving exits and entrances to and from the A14. The access is approximately 56m from the entrance to the service station and approximately 27m from the cul-de-sac entrance to the north.
- 1.7 The field that comprises the site and the open land to the south and east are classified as Grade 3 agricultural land.
- 1.8 The site abuts the Spaldwick Conservation area on its northern western side and there are no listed buildings or other designated heritage assets within close vicinity of the site (Grade

II Listed Building Ivy House is approximately 120 metres west from the application site and 123m from 38 High Street to the east).

- 1.9 The site lies within Flood Zone 1 on the Environment Agency Maps for Flooding and on the Council's Strategic Flood Risk Assessment maps but is at a low to medium risk of surface and groundwater flooding and is shown in the SFRA to be susceptible to flooding during 1 in 1000- year flood events.

Proposal

- 1.10 Planning permission is sought for the Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL).
- 1.11 All dwellings proposed will be affordable homes, predominantly First Homes supported with a mix of other affordable tenures (Shared Ownership and Affordable Rent).
- 1.12 Submitted plans show the proposed 15 dwellings to be comprised of 1 x 1-bedroom dwelling, 10 x 2-bedroom dwelling and 4 x 3-bedroom dwellings.
- 1.13 Of these, 7 would be First Homes, 3 would be Shared Ownership and 5 would be Affordable Rent. All dwellings meet the Nationally Described Space Standards. The layout includes 10 x two-story semi-detached dwellings and 5 x detached dwellings (3 of those detached are bungalows).
- 1.14 The existing access to the site from High Street is moving slightly to the east to accommodate the required visibility splays. A 2m-wide footway is proposed on both sides into the site with the west side connecting to the existing Ivy Way footpath and the east side providing a dropped kerb to enable access to the opposite side of the road.
- 1.15 The layout of the site is defined by a perimeter road with the proposed dwellings fronting this perimeter road with their gardens facing towards the centre of the site. The road into the site would be constructed of tarmac, leading into a shared surface for the remainder of the loop for the perimeter block. The scheme includes 2 on-plot parking spaces to each dwelling. In addition, 4 visitor parking bays are located within the proposed site. Each dwelling also includes on-plot space for secure cycle storage and bin storage.
- 1.16 The north, east and southern boundaries have a green buffer zone and the eastern and northern sides features a drain. The western boundary also has a green buffer zone but is also defined by a drainage exclusion zone. The proposal includes a diversion of the northern entrance of the public footpath which

runs north-south through the site, which is currently under review by Cambridgeshire County Council as an application to divert the public right of way has now been submitted. This diversion would run north-south through a proposed landscape walk on the west of the site. Some visitor parking spaces are proposed on the outside of the perimeter road on the north and south boundaries.

- 1.17 The proposed dwellings would have pitched roofs with a maximum ridge height of 8.47m for the two storey dwellings and 5.57 metres maximum metres for the bungalows. All dwellings would be constructed of a mix of brick, painted brick and render with concrete tiles.

Background

- 1.18 In 2020, pre-application advice was sought for residential development on the site but included land further to the south for the provision of 38 dwellings, which was deemed largely acceptable as a Rural Exceptions scheme (HDC Local Plan Policy LP28) subject to details including drainage details and a Local Housing Needs Survey (HNS). At the time of advice, this HNS had not been produced (the Spaldwick HNS was produced in 2021).
- 1.19 In 2022, an application was received by the Local Planning Authority for Construction of 20 no. First Homes dwellings with associated access, car parking and landscaping. This application comprised a mixture of 10 two bedroomed houses and 10 three bedroomed houses which was subsequently withdrawn due to objections from the Council's Policy and Enabling Officer and Planning Policy Officer on the basis that the proposal was contrary to national First Homes criteria, the HDC's Housing Needs of Specific Groups document (2021) and the Housing Need Survey Report for Spaldwick. There were also concerns raised by Huntingdonshire District Council Urban Design team, Cambridgeshire County Highways Officer and Public Rights of Way Officer.
- 1.20 Subsequently, a further application was submitted in 2023 for 15 dwellings and was refused due to insufficient highways information, inadequate surface water drainage details and failed to demonstrate enhancement of the existing Public Footpath No.12 Spaldwick and fails to separate the public footpath from streets, contrary to Cambridgeshire Rights of Way Improvement Plan (2016).
- 1.21 This current proposal is considered to address concerns raised in previous applications adequately so that the proposal is acceptable, subject to conditions and a Section 106 legal agreement.

- 1.22 Design amendments have been introduced, including a reduction of the number of affordable dwellings from 20 to 15; an amendment to a perimeter block; an increase of planting; the addition of a landscape walk into the green buffer zone to the east of the site; Creation of corner plots to be visually interesting; inclusion of a shared surface to part of the road; an inclusion of a mix of affordable tenures rather than a solely First Homes site (Shared Ownership and Affordable Tenure) and the introduction of bungalows (3 of the 15 units).
- 1.23 This current application also confirms that it is seeking to divert the Public Right of Way (footpath 12), which was originally objected to by Cambridgeshire Definitive maps Team which can now be resolved by condition.
- 1.24 Furthermore, the applicant has submitted the required and relevant flood risk and drainage information sought by the relevant technical consultees which has been deemed acceptable subject to conditions.
- 1.25 Additionally, the Cambridgeshire County Highways officer has removed their objection and now support the proposals subject to a Section 106 contribution and planning conditions.
- 1.26 Over the course of the application, additional highways and drainage information was submitted and accepted by the Local Planning Authority and formal consultation was carried out with both the Lead Local Flood Authority and Cambridgeshire County Highways team.
- 1.27 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (19th December 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment

- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- Policy LP1 - Amount of Development
- Policy LP2 - Strategy for Development
- Policy LP3 – Green Infrastructure
- Policy LP4 - Contributing to Infrastructure Delivery
- Policy LP5 - Flood Risk
- Policy LP6 - Waste Water Management
- Policy LP9 – Small Settlements
- Policy LP10 – The Countryside
- Policy LP11 - Design Context
- Policy LP12 - Design Implementation
- Policy LP14 - Amenity
- Policy LP15 - Surface Water
- Policy LP16 - Sustainable Travel
- Policy LP17 - Parking Provision and Vehicle Movement
- Policy LP24 - Affordable Housing Provision
- Policy LP25 - Housing Mix
- Policy LP28 - Rural Exceptions Housing
- Policy LP30 - Biodiversity and Geodiversity
- Policy LP31 – Trees, Woodland, Hedges and Hedgerows
- Policy LP34 - Heritage Assets and their settings

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document 2017
- Developer Contributions SPD 2011
- Huntingdonshire Landscape and Townscape Assessment (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2017)
- Cambridgeshire Flood and Water SPD 2017
- LDF Developer Contributions SPD (2011)
- Annual Monitoring Review regarding housing land supply (2021)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)

3.3 The National Design Guide (2021)

- C1 - Understand and relate well to the site, its local and wider context
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- B2 - Appropriate building types and forms
- M3 - Well-considered parking, servicing and utilities infrastructure for all users

- H1 - Healthy, comfortable and safe internal and external environment
- H2 - Well-related to external amenity and public spaces
- H3 - Attention to detail: storage, waste, servicing and utilities

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 22/01167/FUL for Construction of 20 no. dwellings with associated access, car parking and landscaping, WDN dated 10.02.2023.
- 4.2 23/00649/FUL for Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 22/01167/FUL), REF dated 12.07.2023.

5. CONSULTATIONS

- 5.1 Spaldwick Parish Council – Recommends refusal of the application. Full comments:

Councillors believe the objections initially submitted by The Parish Council to the application still apply to the recent documents added on the planning portal, namely: flood risk of the area (recent flooding, impact from the Ellington Brook & the ineffective valve, nearby ditches not regularly cleared, the natural downhill slope of the site and it being at the lowest point in the village), insufficient surface water storage for the proposed site, the unsuitable nature of the proposed mesh surface (in relation to clay surface and for an unadopted road), increase in vehicular traffic and highway safety, and the fact that it is outside the village boundary so contradicts the HDC Local Plan.

- 5.2 National Highways – No objections. Summary comments:

We have undertaken a review of the relevant documents supporting the planning application to ensure compliance with the current policies of the Secretary of State as set out in DfT Circular 01/2022 “The Strategic Road Network and the delivery of Sustainable Development” and the National Planning Policy Framework (NPPF). This response represents our formal recommendations with regard to planning application 23/01948/FUL.

Due to the scale of the proposed development, it is considered unlikely to have a severe impact on the Strategic Road Network. Consequently, we offer no objection to this application.

- 5.3 Rights of Way Officer - Objects to the proposal in the event the public footpath is subsumed into the proposed pavement/private road with a new surface. Should the Public Right of Way be

diverted, the Rights of Way Officer recommends a condition for a public right of way scheme and informatives relating to the ongoing provision of the Public Right of Way.

- 5.4 Cambridgeshire Fire – No objection but recommends that adequate provision be made for fire hydrants which may be by way of Section 106 agreement or planning condition.
- 5.5 Cambridgeshire Police – No objections. Notes that the proposed location is an area of medium risk to the vulnerability to crime and suggests the following is included within the scheme: External lighting, cycle parking / storage, private gates, landscaping and footpaths / public open spaces.
- 5.6 Historic England – No comment. Comments:

In this case we are not offering advice. This should not be interpreted as comment on the merits of the application. We suggest that you seek the views of your specialist conservation and archaeological advisers. You may also find it helpful to refer to our published advice at:

<https://historicengland.org.uk/advice/find/>

- 5.7 Cambridgeshire County Highways – No objection subject to conditions and informatives. Summary comments:

The application is for the construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 22/01167/FUL and 23/00649/FUL).

The proposal is for 5 fewer dwellings than the first application (22/01167/FUL) with the access moved slightly in a westerly direction. I would reiterate our previous comments as follows with the additional comments regarding the footway and dropped kerbs:-

That proposed is for the development of 15 dwellings on the entrance to the village of Spaldwick. The vehicle movements associated with that proposed could not be considered as significant against the background flows and the flows from the A14 with peak time movements being circa 10 movements within the peak hours or 1 every 6 minutes. Therefore, capacity could not be considered an issue. I also note the following:

- The access is situated within the 30mph section of highway and 2.4m x 43m have been indicated, which meets with criteria. It should be noted that the actual splays available are greater than those indicated with 2.4m x 176m towards the A14 and circa 2.4m x 88m towards the village.

- The Transport Statement indicates a road width of 5m footway width of 2m and radii of minimum of 6m which accords with adopted criteria for a development of this size, although it is indicated that the site will remain private.
- An amended plan is submitted increasing the area of drain culverting to allow the connecting footways in each direction. The culverting of the ditch will require LLFA permission.
- Refuse tracking for the internal network has been provided, as the road is not proposed to be adopted the LPA should be satisfied that their operations team have no objections to that proposed. Access geometry to the public highway is similar to many existing developments and is therefore acceptable.

Whilst the access is indicated to have acceptable visibility for the site access it has been reported that HCV parking sometimes reaches the proposed site access, therefore blocking the available visibility.

Whilst I could not recommend refusal because of this possible issue (as it forms part of the adopted highway and is not a designated parking area) the applicant should be requested for a section 106 contribution to protect the required splays should this become an issue, post development. This would be achieved by the implementation of parking restrictions (double yellow lines) from the site access to opposite the access of the service station.

Following a careful review of the documents provided to the Highway Authority as part of the above planning application, the effect of the proposed development upon the Public Highway should be mitigated if the following conditions are appended to any consent given in the interest of highway safety:

- Proposed arrangements for future management and maintenance of the proposed streets within the development have been submitted to and approved in writing by the Local Planning Authority. (Pre-commencement condition).
- Vehicular access width.
- That the access where it crosses the public highway shall be laid out and constructed in accordance with the Cambridgeshire County Council construction specification.
- That the crossing of the ditch / watercourse along the frontage of the site shall be constructed in accordance with a scheme to be submitted to and agreed in writing with the Local Planning Authority. (Pre-commencement condition).
- That the proposed on-site parking / servicing and turning area shall be laid out, demarcated, levelled, surfaced and drained

in accordance with the approved plan and thereafter retained for that specific use.

- That temporary facilities shall be provided clear of the public highway for the parking, turning, loading and unloading of all vehicles visiting the site during the period of construction.
- That the proposed use visibility splays shall be provided each side of the vehicular access in full accordance with the details indicated on the submitted plan No 0025-100 rev 18. The splays shall thereafter be maintained free from any obstruction exceeding 0.6m above the level of the adjacent highway carriageway.
- Prior to the first occupation of the development the junction of the access with the highway carriageway shall be laid out with 6m radius kerbs.
- Access drainage measures
- A metalled surface along the access road
- That a route for all traffic associated with the construction of the development (or associated with the use of the site) has been provided and approved in writing to the satisfaction of the Local Planning Authority together with proposals to control and manage traffic using the agreed route and to ensure no other local roads are used by construction traffic (or site traffic) (Pre-commencement condition).
- That the offsite highway improvement works based on drawing 0025-100 rev 18 shall be completed to the written satisfaction of the Local Planning Authority.

Informatives:

- Guidance notes for Construction Traffic Management Plan
- Guidance notes for Movement and Control of Muck-away and Delivery Vehicles
- Guidance notes for Contractor parking
- Guidance notes for Control of Dust, Mud and Debris
- This development involves work to the public highway that will require the approval of the County Council as Highway Authority. It is an OFFENCE to carry out any works within the public highway, which includes a public right of way, without the permission of the Highway Authority. Please note that it is the applicant's responsibility to ensure that, in addition to planning permission, any necessary consents or approvals under the Highways Act 1980 and the New Roads and Street Works Act 1991 are also obtained from the County Council. Public Utility apparatus may be affected by this proposal. Contact the appropriate utility service to reach agreement on any necessary alterations, the cost of which must be borne by the applicant.
- The applicant is advised that the Local Planning Authority requires a copy of a completed agreement between the Applicant and the Local Highway Authority under Section 38 of the Highways Act 1980 or the constitution and details of a Private Management and Maintenance Company confirming funding, management and maintenance regimes.

- The offsite works indicated within this application will require the applicant to enter a short form 278 agreement with the Highway Authority.
- Cambridgeshire County Archaeologist – No objections subject to a pre-commencement condition relating to archaeological investigation an informatives relating to the condition.

5.8 Internal Drainage Board – No comment. Response:

This development does not meet the agreed criteria for a comment from this department as it doesn't fall within flood zone 2 or 3 and the developer hasn't provided a flood plan for comment.

5.9 Lead Local Flood Authority– No Objection, subject to conditions relating to a Surface Water Drainage submitted to the Local Planning Authority prior to commencement. The LLFA also recommends informatives relating to pollution control and IDB consent. Summary comments:

The submitted documents demonstrate that surface water from the proposed development can be managed through the use of tanked permeable paving discharging via flow control and flap valve into the existing watercourse to the North of the site, restricting surface water discharge to 2.5l/s. The system can also withstand additional rainfall with no discharge and a closed flap valve without flooding. The LLFA is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site it also provides water quality treatment which is of particular importance when discharging into a watercourse. Water quality has been adequately addressed when assessed against the Simple Index Approach outlined in the CIRIA SuDS Manual.

5.10 Natural England - No objections.

5.11 Urban Design Team – No objections subject to conditions. Comments:

The application forms a resubmission of near identical 23/00649/FUL application which was refused due to tracking for waste vehicles (Reason 1), SUDs information (Reason 2) and Public Right of way (Reason 3).

The amendments are limited to the submitted Proposed Site Plan (Rev 0025-100 Rev 17) which extends the section of footpath on the east side of the access further east along the High Street and introduces a dropped kerb on both sides of the High Street to facilitate pedestrian access.

No changes have been made to the submitted elevations or floor plans, as such minor amendments are required to address previous comments raised on the 23/00649/FUL relating to:

- Replace the side secondary bedroom window to Plot 9 with a tax window to avoid overlooking to 10;
- Change plots 1 and 2 to red facing brick to reflect units adjacent and opposite the site.
- Introduce stone cills, brick string coursing and sash windows to Plots 1, 2, and sash windows for plots 5 and 6 to create a more consistent appearance to the High Street and Spine Road and reflect the traditional appearance of existing dwellings within the High Street.

These amendments could be dealt with by way of suitably worded conditions if necessary.

- 5.12 HDC Waste – No response.
- 5.13 HDC Conservation Officer – Objects to the proposals. Summary comments: This development is not in accordance with policy LP 34 of the adopted Huntingdonshire Local Plan and is contrary to the NPPF policies 189 to 208.
- 5.14 HDC Trees Officer – No objections subject to conditions.
- 5.15 HDC Affordable Housing - No Objections.
- 5.16 Anglian Water – No objection, subject to informatives regarding assets affected and the Used Water Network
- 5.17 Cadent Gas – No response.
- 5.18 Environmental Health Officer – No objections subject to conditions relating to a Noise Mitigation Scheme and a Construction Environmental Management Plan.
- 5.19 HDC Ecology Officer – No objections, subject to conditions relating to the submission of a Biodiversity Methods Statement and lighting scheme.
- 5.20 Environment Agency – Full Comments:

Our scope for direct consultation in relation to flood risk matters is restricted to fluvial and tidal flood risk zones. This proposal is located within Flood Zone 1 (low risk), and therefore falls outside our remit so we are unable to make formal comment. However, we have a strategic overview role to support other Risk Management Authorities in their roles.

We have therefore provided advisory comments below which we hope you find useful.

Sequential Test

You should ensure that the flood risk sequential test is applied to this site. The National Planning Policy Framework (NPPF) and the Planning Practice Guidance (PPG) clearly states that all sources of flood risk should be considered within the Sequential test.

The Flood Map for surface water indicates that the site is at risk of flooding from surface water during a 1 in 1000 event, within some minor ingress of surface water flooding during the 1 in 30 and 1 in 100 events.

The impacts of climate change need to be taken into account during the sequential test. The flood map for surface water does not include an allowance for climate change. Standard practice for fluvial flooding is to utilise the 1 in 1000 flood event as a proxy to estimate the climate change impacts i.e. the 1 in 1000 can be used as a proxy for the 1 in 100 +CC extent. You may want to adopt this approach in respect of surface water flood risk.

The sequential test should be carried out prior to consideration of whether mitigation measures can make a site safe.

6. REPRESENTATIONS

6.1 115 Letters of objection were received by the Local Planning Authority relating to this application proposal. These comments are summarised as follows and can be viewed in full on the council's website:

Principle

- No support in Local Plan for First Homes
- No evidence that there is any local need for First Homes
- 2021 Housing Needs Survey not part of the development plan and is therefore out of date
- No local 'key worker' employment opportunities in the village therefore does not meet the requirements of First Home exemption
- Brownfield sites in district and outside more appropriate, agricultural and greenfield land should be safeguarded
- Starter homes should be located where there are job opportunities and amenities nearby
- HDC has its housing requirement fully allocated
- Proposal is outside the village of Spaldwick so is contrary to Local Plan policy LP9
- Proposal would not meet LP28 (Rural Exceptions Housing) as in an unsustainable location
- Proposal contrary to Spaldwick Action Plan.
- Concern that the proposal is only the beginning phase of wider development surrounding the site as submitted documentation refer to development being 'Phase 1' and the

developer owns surrounding land (as confirmed by the blue line ownership).

- Concern that the proposal would set a precedent for more development in Spaldwick
- Suggestion in application that residents would form their own management company to manage drainage and flooding issues and maintenance is unrealistic
- Not an infill site so contrary to the Huntingdonshire Local Plan as well as HDC having a 5 year housing supply.
- Concern that the proposal reduces greenfield farming land and opportunities for food production
- Not enough services in Spaldwick able to support more homes in Spaldwick (public transport / cycle routes / shop is in service station / village hall / job opportunities / Play areas – residents would have to travel to other locations for wider amenities such as supermarkets, activities for older children, pubs
- Development would cause too much strain on services such as GP surgery, Hinchbrook Hospital, dentists, vets, schools.

Flooding and Drainage

- Site and surrounding fields, Ivy Way and High Street also Spaldwick generally experiences surface water flooding regularly, highlighted by the recent flooding on the site in December 2023/January 2024.
- Footpath 12 becomes boggy and pond-like during autumn and winter months so site not appropriate.
- Land slopes towards village and therefore would create flooding issues within the village.
- Increase in built development would increase flooding and drainage issues by reducing natural soak away opportunities.
- Anglian Water Pumping station opposite currently cannot handle existing volume. Although Anglian Water have apparently upgraded the local pumping station with a macerator, sewerage back-up from pumping station into nearby dwellings remains an issue. The proposal would exacerbate these flows and detrimentally impact existing houses as water/sewerage has nowhere else to go but to the existing and proposed dwellings.
- Even after the A14 upgrades, flooding remains a regular issue on the site.
- The butterfly valve is not sufficient for additional development.
- Flooding issues would inevitably worsen given climate change.
- Anglian Water will not invest in long term fix for Spaldwick Pumping Station.
- In the past the petrol station has experienced flooding and the proposal would worsen the situation.
- Spaldwick has clay soil which leads to flooding issues. More development would worsen the situation.

- Concern that ditches on and on houses adjacent to the site already require regular clearing and concern how this would be maintained.
- Site has been intentionally submitted small to avoid drainage consultation.
- Claim that a tanker can be arranged to empty pumping station is untrue: During last flooding event, Anglian Water advised no tankers available.
- Application does not sufficiently address management of surface or foul water.
- Unfair to expect occupants of proposed dwellings to pay to maintain drainage requirements.
- Proposal is intentionally under 1 hectare to avoid need for a full Flood Risk Assessment.
- Placing dwellings on flood risk areas would make them uninsurable / may have difficulty in obtaining mortgages and selling property in the future.

Design

- Plans fail to define a sufficient heating solution for proposed dwellings.

Impact to Heritage Assets

- Proposal would detrimentally impact conservation area setting as out of keeping with the conservation area.
- Proposal would detrimentally impact ancient village of Spaldwick.
- Proposal would detrimentally impact historic High Street.

Residential Amenity

- Noise
 - Buildings would reflect the noise to neighbouring area to an unacceptable level
 - Direct noise impacts to No.1 Ivy Way
 - Residents would be subject to unacceptable noise from A14 and Service Station opposite
 - Public Right of Way amendment would cause noise and disturbance for residents on Ivy Way
 - Noise and disturbance during construction phase
- Light impacts / Loss of light
 - Headlights of vehicles exiting the site at night would face residential properties opposite, interrupting sleep and causing stress
 - Introduction of light pollution from the development
 - Overshadowing to occupants of neighbouring properties
- Air pollution
 - Residents would be subject to unacceptable air pollution from A14 and Service Station opposite
- Loss of Privacy
 - To neighbouring residents on Ivy Way
- Overbearing

- To neighbouring residents, given the proximity to neighbours on Ivy Way
- Concern that the proposal would not provide a clear public benefit to current residents of Spaldwick (cleanliness / Village Hall)

Public Right of Way

- Concern that the Public Right of Way would now go through a housing estate, thereby reducing amenity
- Concern that the Public Right of Way repositioning would cause mud issues for residents
- Concern that the proposal would not have access to field adjacent for farming, and therefore suggests more development coming.
- Concern that the proposal claims no objections raised regarding the Public Right of Way which is incorrect as the previous application had objections to the amendment to the Public Right of Way from the PRoW team and neighbour comments.
- Public Right of Way should be safeguarded as it provides village amenity. Development surrounding the ProW would dissuade people from using it.
- Public Right of Way amendment may cause illegal access to gardens on Ivy Way.
- Concern regarding loss of footpath gate
- Proposal would expand Spaldwick into countryside/would reduce green space around the village
- Concern at the loss of greenfield walking route for walkers

Parking, Traffic and Highway Safety

- Concern that additional traffic (approximately additional 30 vehicles) from the development would cause accidents
- concern that vehicles leaving A14 approximately 100m from a major slip road are routinely above 30-40mph causing safety risks.
- Speed and volume of traffic must be a consideration given the proximity to the A14 and slip road which is very close to the proposal
- Concern that the fuel garage opposite has vehicles entering and queuing causing significant congestion and safety concerns.
- Concern that the fuel garage exit is used for overnight parking for lorries and HGVs, who reverse in front of fuel station with accidents already happened.
- Concern that people crossing the road to use fuel station would be a safety risk, no provision for safe crossing
- Concern that the surrounding roads to the fuel garage is used for HGV parking for lorries can congestion and visibility safety risks
- Concern that the proposal would conflict with forthcoming A14 improvements
- Proposal would be car reliant due to lack of public transport serving village

- Proposal can only be provided to people who can afford their own transport
- Concern that the proposal would cause damage to roads

Impact to Biodiversity and Trees

- Proposal would reduce natural habitats and disrupt established wildlife
- Impact to bats (Red Kites and bats)
- Impact to wild nested snipes
- Concern over the loss of two Ash trees prior to submission of application

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.4 The main issues to consider as part of this application are:
- Principle of Development
 - Parking Provision, Highway Safety and Traffic Generation
 - Design, Visual Amenity and impact on the surrounding area
 - Residential Amenity
 - Biodiversity
 - Trees
 - Flood Risk and drainage

- Other matters

Principle of Development

7.5 Policy LP2 of the Huntingdonshire Local Plan to 2036 (the Local Plan) sets out the overarching development strategy for Huntingdonshire through the plan period. The main objectives are to:

- Concentrate development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities;
- Direct substantial new development to two strategic expansion locations of sufficient scale to form successful, functioning new communities;
- Provide opportunities for communities to achieve local development aspirations for housing, employment, commercial or community related schemes;
- Support a thriving rural economy;
- Protect the character of existing settlements and recognise the intrinsic character and beauty of the surrounding countryside;
- Conserve and enhance the historic environment; and
- Provide complementary green infrastructure enhancement and provision to balance recreational and biodiversity needs and to support climate change adaptation.

7.6 Some third-party responses (including Spaldwick Parish Council) have raised concern that the proposal is contrary to the Local Plan as Huntingdonshire District Council has met its requirement for 5-year housing supply, that the proposal is in the countryside where greenfield and agricultural land should be safeguarded, is not an infill site and is in an unsustainable location with little amenities nearby and that there is no evidence or need for First Homes in the village. Consequently, it is put forward that the proposal would not meet Local Plan Policies LP9 (Small Settlements), or LP28 (Rural Exceptions Housing). Third parties have also raised that the 2021 Spaldwick Housing Needs Survey is out of date. These concerns are addressed in the proceeding section.

7.7 The proposed development is situated on the eastern edge of Spaldwick which is classified as a small settlement within the Huntingdonshire Local Plan to 2036. Policy LP9 'Small Settlements' of the Local Plan to 2036 sets out that:

"A proposal that is located within a built-up area of a small settlement will be supported where the amount and location of development proposed is sustainable in relation to the:

a. Level of service and infrastructure provision within the settlement;

- b. Opportunities for users of the proposed development to access everyday services and facilities by sustainable mode of travel including walking, cycling and public transport:*
- c. Effect on the character of the immediate locality and the settlement as a whole.*

Development Proposals on Land well-related to the Built-up Area: A proposal for development on land well-related to the built-up area may be supported where it accords with the specific opportunities allowed for through other policies of this plan.”

- 7.8 The Local Plan to 2036 sets out guidance for assessing whether a site is situated within or outside the built-up area on pages 52-55. The site is not considered to be within the built-up area as it is not within a distinct group of buildings more than 30 or more homes and is open on its northern western and southern boundary. Specifically, the proposal is defined as an exclusion of the built-up area by virtue of its open space character which is not well contained by strong boundary features and provides a visual buffer between the built form and the countryside and primarily relates to the countryside rather than built development. Therefore, the site is considered to be outside of the built-up area but given its close proximity to the village and services in Spaldwick, is considered to be well-related to the built-up area. Therefore, the proposal may be supported where it accords with the specific opportunities allowed for through other policies of the Local Plan.
- 7.9 As the site is considered to be within the countryside, policy LP10 of the Local Plan to 2036 is relevant. This Policy states:
- 7.10 *“Development in the countryside will be restricted to the limited and specific opportunities as provided for in other policies of this plan. All development in the countryside must:*
- a. seek to use land of lower agricultural value in preference to land of higher agricultural value:*
 - i. avoiding the irreversible loss of the best and most versatile agricultural land (Grade 1 to 3a) where possible, and*
 - ii. avoiding Grade 1 agricultural land unless there are exceptional circumstances where the benefits of the proposal significantly outweigh the loss of land;*
 - b. recognise the intrinsic character and beauty of the countryside; and*
 - c. not give rise to noise, odour, obtrusive light or other impacts that would adversely affect the use and enjoyment of the countryside by others.”*
- 7.11 The site is classified as Agricultural Land Class Grade 3 which is considered low in terms of versatile and best land, and so has the capacity to be in accordance with LP10 (a). Criterion b and c

are addressed elsewhere in this report but is accepted that the proposal has capacity to meet these requirements.

- 7.12 Explanatory paragraph 4.110 of LP10 policy also limits development in the countryside to those limited and specific opportunities provided for in policies LP19 Rural Economy, LP20 Homes for Rural Workers, LP22 Local Services and Community Facilities, LP23 Tourism and Recreation and LP28 Rural Exceptions Housing.
- 7.13 The proposal is for 'First Homes', an affordable housing provision that was introduced in 2021 via a Written Ministerial Statement (WMS) and updates to the Planning Practice Guidance (PPG) intended to help first time buyers get on the property ladder.
- 7.14 Planning Practise Guidance (PPG) puts forward the following qualifying criteria for First Homes:
- a) [They] must be discounted by a minimum of 30% against the market value;
 - b) are sold to a person or persons meeting the First Homes eligibility criteria (as set out in the PPG);
 - c) on their first sale, [They] will have a restriction registered on the title at HM Land Registry to ensure this discount (as a percentage of current market value) and certain other restrictions are passed on at each subsequent title transfer; and,
 - d) after the discount has been applied, the first sale must be at a price no higher than £250,000.
- 7.15 Comments have been raised by third parties regarding the lack of Local Plan policy support for First Homes. The First Homes scheme was introduced by Government after the adoption of the Local Plan. There is however, a First Homes Statement which is available on the Council's website. The Huntingdonshire First Homes Statement (2022) (HFHS) notes that Huntingdonshire District Council is intending to use the national criteria for First Homes until such time as appropriate evidence to support local criteria is available. Therefore, HDC are not intending to adopt a local lower market discount, lower value cap or lower household income threshold than set out in government guidance.
- 7.16 The HFHS also states that the WMS and PPG allows local authorities to apply local connection criteria to First Homes without the need to provide supporting evidence as First Homes are intended to allow people to get on the housing ladder in their local area. The local connection criteria that will apply to First Homes sold in Huntingdonshire is set out in Appendix 1 of the HFHS. The local connection criteria will apply via a Section 106 Agreement upon the first and every successive sale of a First Homes, although the criteria will be lifted after three months from when the home is first marketed if the home has not been reserved or sold. If a suitable buyer has not reserved a home

after 3 months, the eligibility criteria (including income caps) will revert to the national criteria set out in the PPG, to widen the consumer base.

- 7.17 The Council's adopted planning policy for affordable housing in Huntingdonshire is set out in Section 7 Strengthening Communities of the Local Plan to 2036. Specifically, Policy LP24 (Affordable Housing Provision) states:

"In order to assist in meeting the identified local need for additional affordable homes, a proposal which includes housing development will be required to provide a range of affordable housing types, sizes and tenures. These should be appropriate to meet the requirements of the local community taking into account the latest evidence from the Housing Register. The affordable housing provision may include specialist or supported housing where an identified need exists, the Cambridge sub-region Strategic Housing Market Assessment and other local sources. The affordable housing provision may include specialist or supported housing where an identified need exists. A proposal will be supported where:

- a. it delivers a target of 40% affordable housing on a site where 11 homes or 1,001m² residential floorspace (gross internal area) or more are proposed;*
- b. it provides approximately 70% of the new affordable housing units as social or affordable rented properties with the balance made up of other affordable tenures;*
- c. affordable housing is dispersed across the development in small clusters of dwellings; and*
- d. it ensures that the appearance of affordable housing units is externally indistinguishable from that of open market housing.*

Where it can be demonstrated that the target is not viable due to specific site conditions or other material considerations affecting development of the site an alternative dwelling or tenure mix or a lower level of provision may be supported. Preference will be given to amending the tenure mix; only if this is still demonstrated not to be viable will consideration be given to reducing the affordable housing requirement.

A development viability assessment may be required to support an alternative mix or level of affordable housing provision. In exceptional circumstances it may be appropriate to accept off-site provision and/or commuted payments where this would offer an equivalent or enhanced provision of affordable housing."

- 7.18 The proposal is comprised of 100% affordable housing so complies with parts a-c of LP24. Part d is assessed in the 'Design and Visual Amenity' section below.

- 7.19 Local Plan Policy LP 25 (Housing Mix) confirms that a proposal for major scale development that includes housing will be supported where it provides a mix of sizes, types and tenures which help achieve sustainable, inclusive and mixed communities. The Policy states:

“A proposal should set out how it responds to the evidence and guidance provided by:

- a. the Cambridge sub-region Strategic Housing Market Assessment;*
- b. the Peterborough Strategic Housing Market Assessment where applicable;*
- c. the Council's Housing Strategy and Tenancy Strategy;*
- d. local assessments of housing need and demand; and*
- e. other local housing and demographic studies and strategies.*

A proposal for wholly affordable housing will be supported where it contributes positively to the mix of tenures available in the local area.”

- 7.20 In this case, part e is relevant.

- 7.21 The proposal is supported by the Spaldwick Housing Needs Survey (SHNS) (2021) which notes that lack of housing provision inflates prices and therefore creates a need for affordable housing delivery. The SHNS identifies the need for 7 affordable homes including bungalows which can be expanded to 15 homes, given the NPPF requirement for 5% of the settlement, which the proposal meets. The proposal comprises a mix of 7 First Homes, 3 Shared Ownership and 5 Affordable Rent, with three of the dwellings being bungalows. The Applicant would accept a Local Connection requirement secured within a S106 legal agreement. The proposal is considered to accord with LP24 of the Huntingdonshire Local Plan in this instance.

- 7.22 The WMS points out that the Government seeks to deliver First Homes via exception sites. Exception sites are small sites brought forward outside of development plans in order to deliver affordable housing, and currently consist of rural exception sites and entry-level exception sites.

- 7.23 Therefore, the proposal must also be assessed against LP28 (Rural Exceptions Housing). Policy LP28 states:

“A proposal for housing will be supported on a site well-related to a built-up area, as an exception to the requirements of relevant policies, where it can be demonstrated that:

- a. at least 60% (net) of the site area is for affordable housing for people with a local connection;*
- b. the number, size, type and tenure of the affordable homes is justified by evidence that they would meet an identified need*

arising within the settlement or nearby small settlements (as defined in 'Small Settlements') through a local needs survey or other local needs evidence;

c. the remainder of the site area is available as open market housing or plots suitable for custom or self-build homes tailored to meet locally generated need; and

d. the amount of development and location of the proposal is sustainable in terms of:

i. availability of services and existing infrastructure;

ii. opportunities for users of the proposed development to travel by sustainable modes; and

iii. effect on the character of the immediate locality and the settlement as a whole.

Mechanisms, including planning conditions/ obligations, will be put in place to ensure that the affordable housing is delivered and remains affordable in perpetuity or for the appropriate period as applicable to the form of housing.

To ensure that market housing and affordable housing elements are delivered concurrently a planning condition will be applied.”

- 7.24 In terms of criterion a, this can be secured by Section 106 agreement. Part b is satisfied due to compliance as identified in the Spaldwick Housing Needs Survey. Part c is not relevant to this application as the proposal is for 100% affordable home provision.
- 7.25 In relation to Part d (i), it is noted that Spaldwick is served by an existing Primary School, play area, public house, church and Applegreen Service Station which includes a shop, off licence and restaurants. Spaldwick is also served by public transport, with a bus stop a 7-minute walk away on Church Lane serving the village to Huntingdon and is therefore considered to be a sustainable location in terms of services and infrastructure. In relation to Part d (i), the site is within a reasonable walking distance of bus stops, the village pub, Applegreen Service Station, accessible via a footpath and the village school. It is considered that residential development of the site would accord with this part of the policy. Part d (iii) is considered in the rest of this report, and it is considered that the proposal has the capacity to meet this criterion.
- 7.26 Third parties have raised concern that the proposal would not meet the criteria for First Homes. This would be secured by a Section 106 agreement.
- 7.27 Comments received stating that other sites would be more suitable to development and that the proposal would set a precedent to additional development are noted. However, the Local Planning Authority can only assess the proposal in front of it and each application is assessed on its own merits.

- 7.28 Comments raising concern that the occupants would have to manage drainage and flooding issues and that the proposal is contrary to the Spaldwick Action Plan are acknowledged, but these specific issues regarding the Spaldwick Plan are not planning matters. Flood risk and drainage is discussed in detail below.
- 7.29 Although the application site is located outside of the built-up area of Spaldwick, the site is well-related to the village and would meet the requirements set out in the NPPF, the government First Homes criteria PPG and Policies LP2, LP9, LP10, LP24, LP25 and LP28 of delivering a rural exception site of 100% affordable dwellings. The principle of development is therefore considered to be acceptable subject to the other material planning considerations discussed below.

Flood Risk and Drainage

- 7.30 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 159-169 of the NPPF (2023)). The site lies within Flood Zone 1 on the Environment Agency Maps for Flooding and on the Council's Strategic Flood Risk Assessment maps but is at a low to medium risk of surface and groundwater flooding and is shown in the SFRA to be susceptible to flooding during 1 in 1000 year flood events.
- 7.31 The representations received from the Parish Council and neighbours regarding regular flooding events on the site itself and adjoining land and potential for further flood risk are noted, as are concerns regarding the Anglian Water Pumping Station capacity and concern regarding clay soil on the site.
- 7.32 Officers note that the Environment Agency (EA) have provided advisory comments on the application. The comments are considered advisory because consultation with the EA is in relation to flood risk matters which are restricted to fluvial and tidal flood risk zones. This proposal is located within Flood Zone 1 (low risk), and therefore falls outside the remit of the EA. Subsequently they are unable to make formal comment. The EA acknowledges that the flood map for surface water shows the whole site being at risk from surface water during a 1 in 1000 event which is the lowest risk. The 1 in 100 (medium risk) is only a small part of the site and the 1 in 30 (high risk) is around the edge of the site away from the proposed dwellings. The EA also highlights that the flood map does not take into account climate change and therefore a sequential test may be required. However, it must be noted by members that EA flood risk mapping is the formal tool used to appraise sites in terms of flood

risk and drainage, this tool is updated regularly and therefore remains the basis in which sites are assessed for the purpose of the determining a planning application.

- 7.33 Officers note these advisory comments from the EA. On review of the submitted Drainage Report, officers note that in section 2.4 that the calculations for the hydraulic model for the outflow of surface water drainage from the system into the roadside ditch has taken into account climate change. As outlined below, the LLFA support the proposal as in terms of dealing with surface water drainage. Taking this account, alongside the size of the site, and the fact that the majority of the site is within low risk not high risk of surface water flooding, officers are of the view that the sequential test is not required in relation to surface water drainage.
- 7.34 Additionally, as the site is located in Flood Zone 1 and is under 1 hectare in area, it is not necessary for a sequential test to be carried out to identify other potential sites at a lower risk of flooding, nor is there a requirement for a Flood Risk Assessment to be carried out on the site. Notwithstanding this, the application is accompanied by number of documents such as Phase 1 Desk Study, a Drainage Site Survey, a Proposed Drainage Site Plan, Drainage Details drawing, and a Drainage Report.
- 7.35 The topography of the site falls slightly in an eastern direction from levels of around 20m above Ordnance Datum (AOD) in the south western corner to around 19m AOD in the north eastern corner. The Phase 1 Desk Study establishes that the site is at a low risk of river and coastal flooding and a 1 in 30 year, 0.1m-0.3m risk of surface water flooding. Groundwater flooding was found to be negligible.
- 7.36 The main flood risk aspect associated with the proposed development is ensuring that surface water drainage from the site would be dealt with in accordance with all relevant local and national guidance/standards to ensure that there would be no adverse impact upon the downstream risk of flooding as a result of the development.
- 7.37 In terms of the proposed surface water drainage strategy, paragraph 6.3.17 of the Cambridgeshire Flood and Water SPD 2017 states that it is a Building Regulations and Planning Practice Guidance requirement that the discharge hierarchy for surface water drainage is followed.
- 7.38 The hierarchy requires that rainwater shall discharge to the following, listed in order of priority:
- To ground in an adequate soakaway or some other adequate infiltration system
 - A watercourse
 - A surface water sewer, highway drain or other drainage system

- A combined sewer

- 7.39 The submitted Phase 1 Desk Study states that the site is underlain by a Oxford Clay geology which is unsuitable for infiltration due to its low permeability and storage capability, therefore infiltration systems are not considered to provide a feasible method of draining surface water from the site.
- 7.40 The proposal is to discharge surface water via tanked permeable paving discharging via flow control and flap valve into the existing watercourse to the north of the site, restricting surface water discharge to 2.5l/s. The system can also withstand additional rainfall with no discharge and a closed flap valve without flooding.
- 7.41 Cambridgeshire County Council as the Lead Local Flood Authority (LLFA) were consulted on the application and initially requested clarifications and further detail regarding the proposed filter drain, given the recent Storm Henk and subsequent surface water ponding on site, noting the drainage ditch to the east and west of the site would require to be maintained without increasing flood risk to a neighbouring property.
- 7.42 Details were thus sought and provided from the applicant to demonstrate how the filter drain would perform in instances of high water levels. The applicants drainage engineer provided a letter outlining that given the topography of the site, surface water runoff would likely be to the eastern ditch of the site, nor to the south and that the proposed filter drain would prevent and minor localised flows from entering site, but would not impact the total flows in the ditches which would be unchanged. These flows are likely to be negligible and the flow from outside the development will discharge as it does not directly to the eastern ditch, and the runoff from the site would be greatly reduced. Ant flow which does enter the filter drain will discharge to the eastern ditch as it does now.
- 7.43 The LLFA re-consultation comments raise no objection to the proposals stating that the LLFA is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site, it also provides water quality treatment which is of particular importance when discharging into a watercourse. The LLFA recommends conditions relating to a detailed design of the surface water drainage and surface water runoff and drainage systems to be submitted to and approved in writing by the Local Planning Authority to ensure adequate drainage and no increase in flood risk and to ensure the principles of sustainable drainage can be incorporated into the development.
- 7.44 In terms of foul water drainage, it is proposed that the development connects to the Anglian Water sewer to the north-

west of the site. Anglian Water were consulted on the application and raised no objection stating that the foul drainage from this development is in the catchment of Easton (Cambs) water Recycling Centre that will have availability and capacity for these flows. A condition requiring a scheme of foul water drainage could be imposed in the event of an approval decision made on the application. Therefore, while comments relating to flooding and sewerage capacity have been made by third parties, the Lead Local Flood Authority, Internal Drainage Board and Anglian Water have raised no significant concerns regarding the application, and therefore officers are satisfied that the proposal could be made acceptable regarding flooding and sewerage issues via conditions.

- 7.45 Concern has been raised regarding ability for occupants to obtain necessary insurance are acknowledged. However, this is not a planning issue and cannot be considered as part of the appraisal. Comments relating to the site being intentionally under 1 hectare are noted, however the proposal can only be assessed using submitted information, technical consultee responses and local and national policy. In this case the site is under 1 hectare, has been assessed as acceptable (subject to conditions) by technical flood risk and water consultees and has subsequently been considered to meet local and national policies.
- 7.46 Overall, it is considered that the risks of flooding, drainage and sewerage have been fully assessed and it has been demonstrated that the development can be made safe for its lifetime without increasing flood risk elsewhere. Subject to conditions, the proposal is considered to accord with Policies LP5 and LP15 of the Local Plan, Section 14 of the NPPF 2023, and the Cambridgeshire Flood and Water SPD 2017.

Design and Visual Amenity

- 7.47 Policy LP11 of the Local Plan states that proposals will be supported where it is demonstrated that they positively respond to their context and draw inspiration from the key characteristics of their surroundings, including the natural, historic and built environment.
- 7.48 Policy LP12 of the Local Plan states that proposals will be supported where they contribute positively to the area's character and identity and where they successfully integrate with adjoining buildings.
- 7.49 Paragraph 135 of the NPPF 2023 states that planning policies and decisions should ensure that developments:
- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;

- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

- 7.50 The National Design Guide 2021 addresses the question of how we recognise well-designed places by outlining and illustrating the Government's priorities for well-designed places in the form of ten characteristics. The Guide supports paragraph 135 of the NPPF that states permission should be supported for development of good design.
- 7.51 The Huntingdonshire Design Guide 2017 sets out design principles based on recognised best practice and explains key requirements that the Council will take into consideration when assessing planning proposals. The Design Guide promotes locally distinctive design which respects and enhances the character of Huntingdonshire.
- 7.52 The site lies to the east of the main built-up area of Spaldwick and covers an area of approximately 0.81 hectares. The site borders existing buildings on two sides. To the north of the site lies residential units at Nos. 45 and 53 High Street and to the west lies Nos. 1, 3, 5 and 7 Ivy Way. The Applegreen Service Station lies immediately opposite the site. The site is bounded by a dense belt of mature trees and hedgerows to the west and more sporadic trees and hedgerows to the north and east, a drainage ditch also borders the north, west and eastern boundaries. The southern edge is open to the remaining part of the field and the wider countryside. An existing access is located in the northwest corner of the site from the High Street.
- 7.53 The site is crossed by a public footpath (PRoW 2019/12) running north-south. The north-west corner of the site lies adjacent to the Spaldwick Conservation Area and two Grade II Listed Buildings are located over 120 metres west from the site.

- 7.54 The application forms residential units comprised of 15 dwellings (10 x semi-detached and 5 x detached, 3 of which are bungalows), comprising 1 x 1-bed, 10 x 2 bed and 4 x 3-bed. Of these, 7 are First Homes, 3 are shared ownership and 5 are affordable rent. It is acknowledged that the proposal follows advice provided as part of discussions on the prior withdrawn application (23/00649/FUL).
- 7.55 The site access has been located further west and the first section of the spine road aligned to more closely follows the western site boundary, whilst the southern end of the spine road continues to follow the diagonal alignment of the PRoW, the reduction in the number of units has allowed the creation of a simple perimeter block with outward facing development fronting the site boundaries, the spine road and perimeter shared surface loop road with secure and enclosed back-to-back rear gardens. The reduction in units has allowed for more consistent building lines which helps conceal and better integrate the parking which is now located to the side of each dwelling.
- 7.56 The revised layout incorporates deeper areas of structural landscaping along the eastern and southern site boundaries, which together with the arrangement of the Bungalows (Plots 10, 11 and 12) creates a softer transition with the adjacent countryside. The previous arrangement with footpaths either side of the spine road, duplicating the 'landscape walk' has been rationalised and the footpath on the west side of the spine road omitted.
- 7.57 Units are arranged with secure back-to-back rear gardens with 23.6m and 25.1m separation distances in accordance with the 21m minimum back-to-back distance set out in the HDC Design Guide SPD.
- 7.58 House types have been revised following previous comments on the withdrawn application and now incorporates kitchen windows on the side elevations overlooking the adjacent side drives. Plots 01, 06, 10 and 12 have been configured as corner turning units with front entrances on the side elevations and windows to habitable rooms on both the front and side elevations addressing the corners of the perimeter block to the spine road and shared surface loop road.
- 7.59 Plot 9 includes a south facing secondary bedroom window on the side elevation. There is concern this could result in perceived overlooking impacts to the rear garden of Plot 10 to the south. Given this forms a secondary window it is recommended this window be omitted and replaced with a tax window. This change could be agreed by way of condition to make the proposal acceptable.

- 7.60 The elevations have been revised to create a more traditional appearance and comprise a mixture of buff brick (Plots 1, 2, 13, 14) or red brick (Plots 3-4, 7-8, 9, 11, 12, 15). It is recommended that plots 1 and 2 also feature red facing brickwork to reflect the red brick units opposite the site and within the Ivy Way frontage adjacent. This can be secured by condition.
- 7.61 Render with red brick splash courses is proposed for Plots 5-6 and 10 fronting the spine road and are supported and helps reinforce these marker buildings, create a hierarchy of units and reflects the rendered dwellings further west fronting the High Street.
- 7.62 All units now feature corbelled brick eaves and verges (Plots 1, 2, 10, 13, 14) or exposed rafter feet (Plots 5-6, 7-8, 9, 10, 11, 12, 15). Plots 1, 2, 3, 4, 5, 6, 10, 12 feature chimneys. Stone cills, feature brick string coursing and sash windows are proposed for Plots 3-4, 7, 8, 9 and 15.
- 7.63 The Urban Design Officer on the previous application advised a more consistent and traditional appearance was recommended for the High Street frontage and units fronting the spine road (i.e. facing brickwork, sash windows, stone cills and soldier course windows heads and coursing). Whilst the revised application has largely addressed these comments, stone cills, brick string coursing and sash windows should be specified for Plots 1, 2, and sash windows for plots 5 and 6 to create a more consistent appearance to the High Street and Spine Road and reflect the traditional appearance of existing dwellings within the High Street. These changes could be agreed by a suitably wording condition to make the proposal acceptable in design terms.
- 7.64 Conditions are also recommended to confirm the red and buff facing brickwork, colour and type of render, the concrete roof tiles (traditional slate, of slate effect tiles with a thin leading edge are recommended, with some units in red plain tiles), windows – means of opening and RAL colour (submitted elevations show 'coloured' window however the colour has not been specified. It is unclear if the sash windows shown would be sliding), and the colour of fascias and rainwater goods.
- 7.65 An architectural details condition is required to confirm the location and colour of meter boxes, flues, vents and extracts.
- 7.66 A third party has raised concern that the plans fail to define a sufficient heating solution. While these comments are considered, heating is a Building Control issue and is subject to legislation outside of planning and therefore cannot be taken into account in the assessment of this application.
- 7.67 It is accepted that subject to conditions, the proposal is acceptable in design terms and would therefore be in

accordance with Local Plan Policies contrary to Policies LP9, LP10, LP11, LP12 and LP24 part d of the Local Plan to 2036.

Impact upon Heritage Assets

- 7.68 The proposal is adjacent to Spaldwick Conservation Area on its north-western boundary and is sited 120 metres east from the Grade II Listed Building Ivy House and approximately 123 metres from 38 High Street also to the east. Section 72 of the Planning (LBCA) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.
- 7.69 Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 7.70 Paras 189 - 202 of the NPPF provide advice on proposals affecting heritage assets and how to consider different levels of harm. Para. 194 states 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'.
- 7.71 Policy LP34 of the Local Plan aligns with the statutory provisions and NPPF advice and seeks to preserve heritage assets and their settings, stating that the statutory presumption of the avoidance of harm can only be outweighed if there are public benefits that are powerful enough to do so.
- 7.72 Third party objections relating to heritage assets include concerns that the proposal would detrimentally impact Spaldwick historic character and designated Conservation Area form material consideration which is assessed in the proceeding section.
- 7.73 Huntingdonshire District Council's Conservation Officer has reviewed the submitted documentation associated with this planning application and has objected to the proposals as the proposal would result in harm to the significance of Spaldwick Conservation Area by virtue of its design layout and massing. The consulted Conservation Officer considers the harm caused by the proposal to be less than substantial, and that this level of harm can only be outweighed if there are sufficient public benefits to do so. The site is not within the conservation area therefore whilst 'great weight' is afforded to this recommendation it is not 'special weight'.

- 7.74 The local planning authority must make special regard to the desirability of preserving the setting of a Conservation Area as per the Planning (Listed Buildings & Conservation Areas) Act 1990, and paragraph 208 of the NPPF 2023 requires the harm to be weighed against the public benefits of the proposal.
- 7.75 In this case, while it is acknowledged that the proposal would result in a degree of harm to the adjacent Spaldwick Conservation Area and wider historic character of the village, it is considered that on balance, the public benefits of the scheme which include 100% affordable housing provision secured by a S106 agreement would outweigh the less than substantial harm to the setting of the Spaldwick Conservation Area.

Archaeology

- 7.76 The site lies in an area of archaeological potential to the east of the historic core of Spaldwick.
- 7.77 A recent archaeological investigation carried out 70m from the proposed development within the curtilage of Grade II listed Ivy House which dates to the late 17th century (National Heritage List For England reference 1165318) has identified remains relating to domestic activity on the site mainly dating to the mid-12th to 14th centuries (Cambridgeshire Historic Environment Record reference ECB6525). These include ditches which may represent plot boundaries extending from the High Street which has origins dating back to at least the Saxon period. Previous archaeological investigations conducted within the village core have also revealed evidence of Iron Age, Saxon and medieval occupation and industrial activity including charcoal roasting pits and the remains of timber buildings of Saxo-Norman date at two different sites further to the north-west of the proposed development at Thrapston Road (MCB19832, CB14594). Additional evidence of medieval activity has also been identified to the west at Ferriman Road (CB14593), and a 14th century gilded brass crucifix was previously uncovered 100m north-west of the proposed development in the grounds of no.41 High Street (00734).
- 7.78 Due to the archaeological potential of the site, Cambridgeshire County Council's Archaeology Officer has recommended that a further programme of investigation and recording is required in order to provide more information regarding the presence or absence, and condition, of surviving archaeological remains within the development area, and to establish the need for archaeological mitigation of the development as necessary. Accordingly, CCC Archaeology have recommended that a pre-commencement condition securing a programme of archaeological investigation is imposed on any grant of planning permission and is recommended be appended to any consent given to the application.

- 7.79 It is therefore accepted that subject to conditions, the proposal is acceptable in design terms and impact to the Spaldwick Conservation Area and would therefore be in accordance with Local Plan Policies contrary to Policies LP9, LP10, LP11, LP12 and LP34 of the Local Plan to 2036.

Housing Mix

Affordable Housing

- 7.80 Policy LP24 of the Local Plan to 2036 requires a proposal which includes housing development to provide a range of affordable housing types, sizes and tenures. These should be appropriate to meet the requirements of the local community taking into account the latest evidence from the Housing Register, the Cambridge sub-region Strategic Housing Market Assessment and other local sources.
- 7.81 Policy LP25 of the Local Plan to 2036 outlines that a proposal for major scale development that includes housing will be supported where it provides a mix of sizes, types and tenures that help achieve sustainable, inclusive and mixed communities.
- 7.82 All 15 dwellings proposed are affordable, complying with the 40% requirement. The proposed tenure split is 7 First Homes, 3 Shared Ownership and 5 Affordable Rent.
- 7.83 The HDC Policy and Enabling Officer's (Housing) has been consulted as part of the application and raises no objections to the proposal, noting that it would be preferable for the bungalow bathrooms to have a wet room/level access shower instead of a bath. This could be secured by condition should the proposal be approved.
- 7.84 Officers note that the quantum of affordable homes, tenure and mix meets the aims of Policies LP24 and LP25 of the Local Plan. The mix proposed in this scheme broadly complies with the mix sought for Huntingdonshire in the Housing Needs of Specific Groups (October 2021) and the Spaldwick Housing Needs Survey (February 2021) and will help to achieve a sustainable, inclusive and mixed community in this locality.
- 7.85 The proposal is therefore considered to accord with the requirements of Policy LP24 part d) of the Huntingdonshire Local Plan to 2036.

Impact upon Amenity

- 7.86 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and

maintained for users and occupiers of neighbouring land and buildings. A site visit was carried out by the case officer during the course of the application.

Amenity of neighbouring properties

- 7.87 Third-party objections relating to residential amenity submitted in relation to this proposal including noise, light impacts, air pollution, loss of privacy, overbearing and other environmental impacts have been considered and taken into account, alongside consultee comments relating to the same.
- 7.88 The site is bound on its western side by linear residential development on Ivy Way, the dwellings having their rear or side elevation facing the proposal site. Dwellings are also sited to the north of the proposal on High Street. Otherwise, the site is bound on its eastern and southern elevations by open land.
- 7.89 Page 143 of the Huntingdon District Design Guide states: 'A general rule of thumb of 21m distance between properties ensures privacy for residential use.' No.1 Ivy Way is the closest dwelling to the development, with Unit 6 being the nearest dwelling at approximately 35 metres to the west of this proposed dwelling. Given the separation of the proposed dwellings from nearby existing dwellings, it is considered that no additional windows that directly overlook any neighbour would result in detrimental overlooking issues. Moreover, no part of the proposals intersect the 45 degree guidance criteria set out within The Huntingdonshire Design Guide 2017 section 3.7 (Building Form) to cause any significant concerns regarding loss of light, sense of enclosure or loss of privacy. This relative proximity would not cause significant noise or environmental impacts such as air or light pollution that would warrant a refusal of the application on amenity grounds.
- 7.90 It is acknowledged that concerns have been raised by third parties in relation to noise from the Public Right of Way, headlights of vehicles exiting the site at night, light pollution from the development and other environmental impacts including air pollution, as outlined above, it is considered that the cumulative environmental impacts would not be so significant that it would warrant refusal of the application on amenity impacts alone and would be balanced with the public benefit from the provision of affordable housing. Notwithstanding this, the proposal has been considered by the Huntingdonshire Council's Environmental Health Officer who raises no significant concerns regarding potential detrimental impact to neighbouring dwellings subject to a Construction Environmental Management Plan (CEMP) to be submitted to and approved by the Local Planning Authority prior to commencement of development to ensure the environmental impact of the construction of the development is adequately mitigated and in the interests of nearby residents.

7.91 On balance, while concerns have been raised regarding the impacts to residential amenity have been considered, the proposal overall accords with Policy LP14 of the Local Plan in respect of its impact upon neighbouring properties and is therefore acceptable.

Amenity for future occupiers

7.92 Huntingdonshire District Council's Environmental Health Officer (EHO) has considered the proposals and raises concerns that the proposals may incur some noise impacts to occupants of the proposed dwellings given the proximity of the proposals to the A14 within a direct line of sight. The EHO subsequently recommends the submission of a Noise Mitigation Scheme to be submitted to and approved by the Local Planning Authority prior to commencement of development. This recommendation from the EHO is considered to meet the five tests for conditions in respect of amenity and is recommended to be appended to any consent given to the submitted application.

7.93 In terms of internal space for future occupiers, the proposed gross internal area (GIA) for Unit 1 which is a 1-bedroom bungalow, 2-person unit is 50sqm. Units 1 and 6 are two storey, two bedroom, 4 person dwellings and would have a GIA of 83.6sqm. Units 2, 5, 7 8, 13 and 14 are two storey, two bedroom, 4 person dwellings and would have a minimum GIA of 79.8sqm. Units 3, 4 9 and 15 are two storey, three bedroom, 5 person dwellings and would have a minimum GIA of 96.6 sqm. Units 10 and 13 would be single storey, two-bedroom, 3 person dwellings and would have a minimum GIA of 62.0 sqm.

7.94 These proposed gross internal areas accord with the nationally described space standards (NDSS). Accordance with the NDSS is not a policy requirement within the Huntingdonshire Local Plan to 2036 but provides some context in terms of living space. In this instance, the proposed internal space is considered appropriately functional and acceptable such that future occupiers would experience a good standard of amenity in this regard.

7.95 Whilst HDC do not have private amenity space standards, Local Plan Policy LP12 Design Implementation Part L requires that future development:

'ensures that public and private amenity spaces are clearly defined and are designed to be inclusive, usable, safe and enjoyable'

whereas, Part M also requires developments to:

‘successfully integrates the functional needs of the development including refuse and recycling, cycle storage and car parking so that their dominance is minimised’.

- 7.96 The Development Scenario Questions set out in the HDC Design Guide SPD 2017 - Infill and small group developments, question 6.6 considers *‘Has an adequate amount of amenity space been provided for each residential unit and is it of a shape, size and location to allow effective and practical use by residents?’*. In the case of the proposed units which have 2 or 3 bedrooms, it is reasonable to expect these to be occupied by families. However, in all cases, it is considered that each dwelling has an appropriate amount of private garden area to accommodate the functional needs of occupants – e.g. space for young children to play, planting, dry washing, garden furniture etc.
- 7.97 On balance, therefore, the proposal is considered to be broadly in accordance with Policy LP14 of the Huntingdonshire Local Plan to 2036. The proposed development complies with policy and does not create a significant conflict with any neighbouring residential amenity.

Amenity for users of the Public Right of Way

- 7.98 Public footpath No.12, Spaldwick runs through the site (north/south). The submitted Design and Access Statement puts forward that the Public Right of Way has not been formally relocated due to legal issues but instead provides an alternative walk through (annotated as ‘Landscape Walk’ on plans) to the western side of the site.
- 7.99 Third-party objections relating to amenity in relation to this proposal including general loss of amenity resulting from the loss of a green, open site and footpath have been considered and taken into account in this section.
- 7.100 The National Planning Framework at paragraph 104 requires that: *“Planning policies and decisions should protect and enhance public rights of way and access, including taking opportunities to provide better facilities for users, for example by adding links to existing rights of way networks including National Trails”*.
- 7.101 Cambridgeshire Rights of Way Improvement Plan (ROWIP 2016 update) states the main objective is
- “...to manage, improve and promote a Public Rights of Way network as an integral part of a wider transport system which meets the needs of the whole community for safe sustainable local transport, which improves public health, enhances*

biodiversity, increases recreational opportunities and contributes to the rural economy”.

Statement of Action SOA3 and Guiding Principle GP3 also states:

“New development should not damage countryside provision, either directly or indirectly. New settlements should be integrated into the rights of way network, and improved provision made for the increased population. Where appropriate, development should contribute to the provision of new links and/or improvement of the existing rights of way network”.

7.102 The County Council’s Guidance for Planners and Developers provides guidance on what is considered acceptable when designing a site layout including Public Rights of Way. The guidance sets out the key criteria and states:

“PRoW should be considered as an integral part of the highway network through and beyond the development site in accordance with government and local transport policies. They should be seen as additional to the proposed network of estate roads, private driveways and streets and should be provided wholly or in the main, separate from them. The re-routing or incorporation of a path along footways, or its extinguishment, should be avoided on all but the very smallest of development sites where there is little or no scope to provide a separate path.”

7.103 The Proposed Site Plan 0025-100-17 shows that other than the section of Public Footpath No. 12, Spaldwick that enters the northern section of the site from the High Street, most of the public footpath is subsumed into the proposed private road or pavement.

7.104 The Definitive Map Team at Cambridgeshire County Council has been consulted as part of the application and initially objected to the proposal as it was not clear whether the applicant will maintain the alignment of the public footpath or divert it as at the time, no application to do so had been submitted to the county council for formal consideration. To maintain the current alignment of the footpath would not be acceptable as the public footpath would be subsumed into a private road or pavement and would therefore require a change of surface which requires prior agreement with the County Council. Since this objection was received, the applicant has submitted an application to Cambridgeshire County Council to divert the public footpath through the ‘Landscape Walk’ to the west of the site and the Definitive Map Team at Cambridgeshire County Council have subsequently withdrawn their objection, subject to a condition relating to a Public Rights of Way Scheme to be submitted to and approved by the Local Planning Authority prior to commencement of development in the interests of the amenity

and safety of the public and this is recommended to be attached to any consent given to the application.

- 7.105 Therefore, subject to the condition, the development is considered to accord with LP14 and LP16 of the Huntingdonshire Local Plan to 2036 and would protect and enhance the public right of way in line with to paragraph 104 of the NPPF 2023.

Highway Safety, Parking Provision and Access

- 7.106 Policy LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles. Paragraph 115 of the NPPF (2023) states that development should only be prevented or refused on Highway Safety Grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

- 7.105 The site is located on Spaldwick High Street and would take access from a repositioned access eastwards from the existing opening on to the north east of the site. It is noted that third-party objections have raised highway safety concerns regarding conflict between the application site and the proximity to both the service station to the north-east of the site and the slip-road from the A14 approximately 135m to the east. The entrance of the site sits just inside the speed limit change from 70mph to 30mph. Potential highway safety concerns are assessed in this section of the report, as are concerns that the development would conflict with the A14 improvements and that the proposal would be occupied by people who are car-reliant.

- 7.106 The Local Highway Authority has reviewed the proposals and note that proposal is for the development of 15 dwellings on the entrance to the village of Spaldwick. While the proposal would intensify the use of the site in terms of traffic, the vehicle movements associated with that proposed could not be considered as significant against the background flows and the flows from the A14 with peak time movements being circa 10 movements within the peak hours or 1 every 6 minutes. Therefore, capacity could not be considered an overriding issue that would warrant a refusal of the application in itself.

- 7.107 The Highways Officer also notes that the access is situated within the 30mph section of highway and 2.4m x 43m visibility splays have been indicated, which meets with criteria. The actual splays available are greater than those indicated with 2.4m x 176m towards the A14 and circa 2.4m x 88m towards the village. The submitted Transport Statement also indicates a road width of 5m footway width of 2m and radii of minimum of 6m which accords with adopted criteria for a development of this size,

although it is indicated that the site will remain private. Pedestrian visibility is therefore provided and is acceptable. The Highways Officer noted that as the road is not proposed to be adopted the LPA should be satisfied that their operations team have no objections to that proposed. No objection has been received from Huntingdonshire District Council's Waste team.

- 7.108 The Highways Officer also notes that access geometry to the public highway is similar to many existing developments and is therefore acceptable. Furthermore, whilst the access is indicated to have acceptable visibility for the site access it has been reported by third-parties that HCV or HGV parking sometimes reaches the proposed site access, therefore blocking the available visibility which could cause highway safety impacts. The Cambridgeshire County Highways Officer accepts that recommendation of refusal on this possible issue cannot form a defensible reason for refusal as it forms part of the adopted highway and is not a designated parking area, but recommends that the applicant be requested for a section 106 contribution to protect the required splays which would be achieved by the implementation of parking restrictions (double yellow lines) from the site access to opposite the access of the service station.
- 7.109 As well as a legal agreement to safeguard parking restrictions, the Cambridgeshire County Highways Officer recommends a number of conditions to be appended to any consent given, including pre-commencement conditions relating to the future management and maintenance of the proposed streets within the development, that the crossing of the ditch / watercourse along the frontage of the site shall be constructed in accordance with a scheme to be submitted to and agreed in writing with the Local Planning Authority, visibility splays, that a route for all traffic associated with the construction of the development (or associated with the use of the site) has been provided and approved in writing to the satisfaction of the Local Planning Authority together with proposals to control and manage traffic using the agreed route and to ensure no other local roads are used by construction traffic (or site traffic).
- 7.110 Other prior to occupation and compliance conditions including access dimensions, access construction, that the proposed on-site parking / servicing and turning area shall be laid out, demarcated, levelled, surfaced and drained in accordance with the approved plan and thereafter retained for that specific use, highway improvement works and requirement for a metalled surface are recommended and are considered necessary to ensure the proposal is acceptable in highway safety terms and are recommended to be appended to any consent given to the application.
- 7.111 While concerns have been raised regarding issues of highway safety, planning conditions cannot control drivers who fail to keep

to national speed limits or wish to choose to cross a road at a certain point on the High Street, so cannot form a part of this assessment. Officers disagree that the proposal would make occupiers of the development reliant on vehicles, as a footway is provided to the north west of the site which would allow cycle users and pedestrians direct access to village services, including bus stops, restaurants and education.

- 7.112 Concerns raised regarding impact to and from the A14 (including the slip road) are noted. However, National Highways were consulted on the application and raised no significant concerns. Therefore, the impact to the A14 is considered acceptable.
- 7.113 During April 2024 Development Management Committee, Members raised that there were vehicles leaving the A14 at 70+ miles an hour which would cause detrimental highway safety concerns (pedestrians and vehicles) given the entrance to the site and footway are close to the slip road into the village of Spaldwick.
- 7.114 The Cambridgeshire County Highways team were contacted regarding this concern but at the time of writing this update report no response has been received. Notwithstanding this, while these concerns are acknowledged and it is accepted that the entrance of the site sits just inside the 30 mph speed limit change from 70mph, developments cannot mitigate or append conditions to make the proposal acceptable against people not according with lawful speed limits. It would be unreasonable for the Local Planning Authority to penalise the development for such behaviour as the issue of speeding is a criminal matter not a planning matter. Additionally, highway safety measures are proposed by way of a financial contribution to implement double yellow lines to the north of the site on the approach to High Street to dissuade vehicles parking where they obstruct view of oncoming vehicles. To reiterate above paragraphs, The Cambridgeshire County Highways team have reviewed the proposal in full in regards to highway safety and raise no issues subject to conditions which are deemed relevant, necessary and reasonable to ensure the development is acceptable on highway safety grounds. Officers accept this advice from the technical consultee regarding highway safety.
- 7.115 Overall, therefore, with the inclusion of the above S106 contribution and the above conditions, it is considered by officers that the proposal has the capacity to demonstrate that the proposal would not result in an adverse impact upon the strategic transport network and would not have an adverse impact on highway safety. The proposal on balance accords with policies LP16 and LP17 of the Huntingdonshire's Local Plan to 2036 and Paragraph 115 of the NPPF (2023) in this regard.

Parking

7.116 Private car ownership generated from the proposal will be catered for via on plot parking in the form of driveways and cycle storage in the form of cycle stores. The parking provision for each dwelling is typically a minimum of 2 spaces per dwelling. There are no maximum or minimum parking standards that need to be applied to developments as per the requirements of the NPPF. It is shown on the submitted plans that adequate parking is provided on site (2 vehicle spaces per dwelling with covered cycle storage to accommodate one cycle per bedroom), having regard to the scale and nature of the proposed development. It is considered that there is sufficient parking space on the site to meet the requirements of LP16 & LP17 of the Local Plan to 2036.

Biodiversity

7.117 Policy LP30 of Huntingdonshire's Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated. Policy LP30 also requires development proposals to ensure no net loss in biodiversity and provide a net gain in biodiversity where possible.

7.118 The application is supported by an Ecological Survey (ES) by AAE Environmental Consultants dated April 2022, alongside a Biodiversity (BNG) metric calculator and Biodiversity (BNG) Technical Note.

7.119 The submitted biodiversity information has been reviewed by Huntingdonshire's Ecology Officer, who raises no objections subject to planning conditions attached to any consent given requiring a Biodiversity Methods Statement to be submitted addressing how the recommendations detailed in the Ecology TN (submitted 13/10/2023) Discussion and Recommendations section are to be implemented, and a planning condition requiring the submission of a lighting plan to minimise light spillage and pollution that could negatively impact invertebrates, birds and bats. The lighting scheme will follow guidelines from the Bat Conservation Trust and ILP (Institute of Lighting Professionals) – Guidance Note 08/23: Bats and Artificial Lighting at Night: Appropriate luminaire specifications 4.29.

7.120 Subsequently, the Ecology Officer regards the Biodiversity Net Gain Assessment provided for the site demonstrates the proposal adheres to Local Plan Policy LP30 to ensure no net loss in biodiversity and provide net gain where possible through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type and location of development in explanatory paragraph 8.13 of the Local Plan.

7.121 Therefore, while local residents have raised concerns about the impact to local ecology, including bats, red kites and wild nested snipes, and the loss of trees onsite it is considered that habitat mitigation and enhancement is achievable on the site and therefore, subject to conditions, the proposed development is considered to accord with Policy LP30 of the Local Plan to 2036.

Impact on Trees

7.122 Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development.

7.123 The site is bound by trees and hedgerows to the western boundaries, with sporadic trees to the eastern boundary and hedgerows to the southern boundary.

7.124 Huntingdonshire District Council's Tree Officer has reviewed the submitted Arboricultural information and notes that there are a number of trees on site, which while not impacted by the proposal will require protection during construction. As such, officers recommend a planning condition is attached in this regard and also advises a condition for arboricultural monitoring throughout construction.

7.125 As the existing boundary vegetation is a significant feature which would be integral to retaining some of the character and appearance of the site, particularly as the site is on the village edge abutting a Conservation Area, it is considered reasonable to secure a Tree Protection Plan and Tree Protection Monitoring details to ensure that the development does not harm any trees, shrubs and hedges to be retained on and adjacent to the Subject to these conditions, the proposal is considered to accord with Policy LP31 of the Huntingdonshire Local Plan to 2036 and paragraph 180 b) of the NPPF (2023) in this regard.

7.126 While some third party comments raise concerns about the removal of trees on site prior to submission of the application, it is noted that as the site is not in a conservation area nor includes any legally protected trees covered by a Tree Protection Order (TPO), the applicant is allowed to remove a tree without formal permission.

Open Space

7.127 Policy LP3 of the Local Plan states that a proposal will be expected to support green infrastructure and will therefore be

supported where it demonstrates that it incorporates open/green space in accordance with the Council's Developer Contributions Supplementary Planning Document and improves the accessibility, naturalness and connectivity of green spaces including maintaining and where appropriate enhancing the rights of way network.

- 7.128 The Developer Contributions SPD points out at paragraph B1 that open spaces are an essential element in the delivery of sustainable communities. They not only contribute to the health and well-being of the area, but they are also essential to biodiversity and the delivery of a high-quality designed development.
- 7.129 In accordance With Policy LP3 of the Local Plan and the requirements of the Developer Contributions SPD 2011, the scheme would incorporate an area of informal green space located around the periphery of the site, but specifically to the western side of the site.
- 7.130 The proposed continuous open space provision to the western side of the site comprising the Green Buffer Zone and Landscape Walk totals approximately 1,700 sqm, with the whole site providing approximately 3,000 sqm of amenity open space. As such, the proposed layout and landscaping matters propose an over provision of open space in comparison to the requirements of the Huntingdonshire Developer Contribution SPD which requires an overall area requirement of 696 sqm.
- 7.131 Overall, it is considered that the proposal would provide adequate amount of useable open space within the site. Accordingly, the proposal is considered to be acceptable in terms of open space and complies with the Council's requirements of the adopted Developer Contributions SPD (2011).

Accessible and Adaptable Homes

- 7.132 Policy LP25 of the Local Plan to 2036 states: A proposal that includes housing will be supported which meets the optional Building Regulation accessibility standards (or replacement standards) as set out below, unless it can be demonstrated that site-specific factors make achieving this impractical or unviable:

f. ensuring 100% of new dwellings, across all tenures provided, meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings' (or replacement standards) unless it can be demonstrated that site specific factors make this unachievable.

- 7.133 The submitted Design and Access Statement confirms compliance with the requirements of Building Regulations Part M4(2). A condition is recommended to ensure that the

development is built in accordance with these standards and that they are maintained for the life of the development.

Water Efficiency

7.134 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G.

7.135 The applicant has confirmed in a submitted Energy Strategy Statement accompanying the application that the proposed development has been designed in accordance with and will be built in accordance with the LP12 (j) standards. A condition is recommended to ensure that the development is built in accordance with these standards and that they are maintained for the life of the development.

Other Matters

Fire and Rescue

7.136 Cambridgeshire Fire and Rescue Service require the provision of fire hydrants; this can be secured through a planning condition.

Crime Prevention

7.137 The crime prevention design team have assessed the proposal in terms of community safety, crime, disorder and the fear of crime and have suggested external lighting, cycle parking and landscaping. While cycle parking and landscaping are considered elsewhere in this report, it is considered that lighting can be secured by condition.

Infrastructure Requirements and Section 106 Planning Obligations

7.138 The Infrastructure Business Plan 2013/2014 (2013) was developed by the Growth and Infrastructure Group of the Huntingdonshire Local Strategic Partnership. It helps to identify the infrastructure needs arising from development proposed to 2036 through the Core Strategy.

7.139 The CIL regs for S106 contributions sets out 3 statutory tests a planning obligation may only constitute a reason for granting planning permission for the development if the obligation is –

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

7.140 In regard to highway safety, Cambridgeshire County Council's Highways team has advised that a contribution of £4,000 is

required to protect the required visibility splays through the implementation of parking restrictions (double yellow lines) from the site access to opposite the access of the service station. The proposed contribution would ensure highway safety is maintained in accordance with policies LP16 and LP17 of the Huntingdonshire's Local Plan to 2036 and Paragraph 115 of the NPPF (2023) in this regard.

7.141 Officer's consider the required S106 contribution for double yellow lines to protect the required visibility splays is considered to be justified and CIL compliant.

-Wheeled Bins

7.142 Each dwelling will require the provision of wheeled bins. The current cost of such provision is £170 per dwelling and is to be secured through the S106 Agreement.

-Affordable Housing

7.143 The proposal is for 100% affordable housing comprising 15 dwellings, 7 of which meeting First Homes criteria, 2 would be Shared Ownership dwellings and 5 would be Affordable Rent. In accordance with Policy LP24 of the Local Plan to 2036, the provision of 15 affordable homes will be secured by way of a S106 agreement.

-Green Space/Open Space Maintenance

7.144 The Developer Contributions SPD sets out maintenance rates for green space that will cover a fifteen-year period. Developer contributions in line with the final agreed provision of green space would be secured via a Section 106 Agreement. In accordance with the requirements of the Developer Contributions SPD, this would comprise either a commuted sum following the transfer of the Green Space to the Parish Council or the District Council, or the site will be maintained by a maintenance company that would be set up by the developer and funded through contributions from residents of the site (as per the cascade mechanism within the Developer Contributions SPD).

Community Infrastructure Levy (CIL)

7.145 The development would be CIL liable in accordance with the Council's adopted charging schedule; CIL payments would cover footpaths and access, health, community facilities, libraries and lifelong learning and education. However, given that the proposal is for 100% affordable housing, the Council would not seek CIL charge in this instance.

Third-party comments not addressed in previous sections

7.146 Comments have been raised by third parties regarding further development and availability of brownfield site/ loss of greenfield site as well as more appropriate sites within the district. The Local Planning Authority must consider the application as submitted and cannot assess potential/alternative development that has not been submitted.

Conclusion and Planning Balance

7.147 As outlined above, all planning applications should be determined in accordance with the development plan unless material considerations indicate otherwise.

7.148 This proposal for 15 dwellings comprising of a scheme of 100% affordable housing on a site outside of, but well-related to the built up area of Spaldwick. The National Planning Policy Framework and the Huntingdonshire Local Plan to 2036 seek development in the countryside only when it accords with strict criteria including the provision of affordable homes in sustainable locations such as Spaldwick. In this case, it is considered that the proposal as a whole meets the criteria set out in Local Plan Policies LP2 (Strategy for Development), LP5 (Flood Risk), LP9 (Small Settlements) LP10 (The Countryside) and LP28 (Rural Exceptions Housing and so is considered acceptable in terms of principle of development.

7.149 The presumption in favour of sustainable development requires proposals to achieve economic, social and environmental gains; as such a balancing exercise must be undertaken to weigh the benefits of the scheme against its disadvantages.

7.150 In terms of the environmental dimension of sustainable development, it is acknowledged that a level of harm would occur through the less than substantial harm to the adjacent Spaldwick Conservation Area by virtue of its design layout and massing and so it is considered that there would be some conflict with Section 72 of the Planning (Listed Buildings and Conservation Areas) 1990 Act, The NPPF section 16, especially paragraphs 202-214 and Huntingdonshire Local Plan Policy LP34 (Heritage Assets). However, in line with the NPPF paragraph 208, which states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use. In this case, *while the proposal would have a degree of harm to the wider Spaldwick Conservation Area, it is considered that on balance, the public benefits of the scheme which include 100% affordable housing provision secured by a S106 agreement would outweigh the less than substantial harm to the setting of the Spaldwick Conservation Area and is therefore on balance acceptable.*

- 7.151 In terms of additional environmental benefits, the proposal delivers, through the biodiversity mitigation and enhancements, a development that is acceptable from a biodiversity perspective and provides additional landscaping. While concerns have been raised regarding flood risk, drainage and sewerage, technical consultees have confirmed that the proposal is acceptable, subject to conditions and it is considered that the proposal does not conflict with Local Plan Policies LP5 and LP15 in this regard.
- 7.152 In terms of the economic dimension of sustainable development, the proposal would contribute towards economic growth, including job creation - during the construction phase and in the longer term through the additional population assisting the local economy through spending on local services/facilities. There will also be additional Council Tax contributions arising from the development.
- 7.153 Regarding the social dimension, the development will deliver 100% affordable housing. There is a local and district wide identified need for affordable housing. This benefit should be afforded substantial weight in the planning balance.
- 7.154 Overall, having fully assessed all three dimensions of sustainable development; economic, social and environmental within this report it is concluded that the development of this site will:
- provide a supply of Affordable Housing to help meet the district's needs;
 - have an acceptable impact on residential amenity;
 - have an acceptable impact upon highway safety subject to a S106 contribution securing the provision of double-yellow lines on High Street and a footway.;
 - promote healthy, active lifestyle through informal green space provision via a landscaped walk which includes a diverted public footway;
 - maximise the available opportunities for use of public transport, walking and cycling to local facilities;
 - manage flood risk and drainage effectively;
 - have no significant adverse impacts on features of landscape or ecological value and will provide a net gain in biodiversity;
- 7.155 Having regard to all relevant material considerations, it is concluded that the proposal would contribute to the economic, social and environmental dimensions of sustainability. Whilst the proposal would result in a degree of environmental harm, there are benefits of the development which are given greater weight

in this instance. It is therefore the view of Officers that the proposal has significant social benefits that outweigh the potential environmental harm. When assessed against the policies in the Local Plan and NPPF taken as a whole, it is recommended that planning permission be granted in this instance.

8. RECOMMENDATION - APPROVAL, to delegate the authority to officers to complete the signing of a S106 agreement and subject to conditions including the following:

- Time
- Drawings
- Materials
- Architectural Details
- Hard and Soft Landscaping (Pre-commencement)
- Ground Levels
- Unit 9 Windows
- External Lighting
- Public Rights of Way Scheme (Pre-commencement)
- Fire Hydrants
- Future Management and Maintenance Scheme (Pre-commencement)
- Access Width
- Cambridgeshire County Construction
- Highways Watercourse Scheme (Pre-commencement)
- On-site parking, servicing, loading and unloading
- Construction parking, turning, loading and unloading of all vehicles.
- Visibility Splays
- Access Junction Radius Kerbs
- Access Drainage
- Access road metalled surface 20m
- Traffic Route (Pre-commencement)
- Highways Improvement works
- Archaeological Written Scheme of Investigation (Pre-commencement)
- Surface Water Drainage (Pre-commencement)
- Surface Water Runoff Measures (Pre-commencement)
- Surface Water Drainage System Survey and Report
- Tree Protection Plan (Pre-commencement)
- Tree Protection Monitoring (Pre-commencement)
- Noise Mitigation Scheme (Pre-commencement)
- Construction Environmental Management Plan (Pre-commencement)
- Provision of a wet room/level access shower to Units 10, 11 and 12
- Biodiversity enhancements & Biodiversity Net Gain
- Water Efficiency

- M42 Compliance

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Marie Roseaman Senior Development Management Officer** – marie.roseaman@huntingdonshire.gov.uk

From: [Clerk](#)
To: [REDACTED]
Cc: [REDACTED]
Subject: FW: Planning Permission Consultation - Land East Of Ivy Way Spaldwick (ref 23/01948/FUL)
Date: 16 November 2023 23:53:01
Attachments: [We sent you safe versions of your files.msg](#)
[23-01948-FUL- 15 dwellings re-submission.pdf](#)

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

[REDACTED]

Following our Council meeting this evening, I can confirm that Spaldwick PC recommends refusal of Land East Of Ivy Way Spaldwick (ref 23/01948/FUL) on the following grounds: flood risk of the area (recent flooding, impact from the Ellington Brook & the ineffective valve, nearby ditches not regularly cleared, the natural downhill slope of the site and it being at the lowest point in the village), insufficient surface water storage for the proposed site, the unsuitable nature of the proposed mesh surface (in relation to clay surface and for an unadopted road), increase in vehicular traffic and highway safety, and the fact that it is outside the village boundary so contradicts the HDC Local Plan.

Thank you.
Kind regards

[REDACTED]
Clerk and RFO to Spaldwick Parish Council

Sent from [Mail](#) for Windows

From: Dmadmin@huntingdonshire.gov.uk

Sent: 23 October 2023 09:17

[REDACTED]
Subject: RE: Planning Permission Consultation - Land East Of Ivy Way Spaldwick (ref 23/01948/FUL)

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL)

Site Address: Land East Of Ivy Way Spaldwick

Reference: 23/01948/FUL

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If you would prefer not to receive correspondence from us via email you have the right to opt out. If you wish to opt out please contact us at the address provided below so that we can remove your email details from our records.

Keeping safe on the internet

You should never open a file attached to an email when you do not trust the sender's authenticity.

We will only contact you via email when you have already contacted us in relation to this specific application (or one directly related to it) and provided your email address as a contact - we will not transfer your contact details between unrelated applications.

If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management
Huntingdonshire District Council

T: 01480 388388

E: dmadmin@huntingdonshire.gov.uk

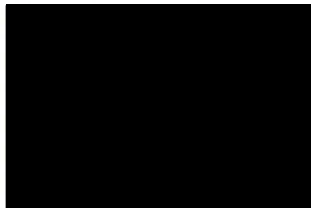
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Pathfinder House, St Mary's Street
Huntingdon. PE29 3TN
Developmentcontrol@huntingdonshire.gov.uk

01480 388424
www.huntingdonshire.gov.uk



Our Ref : 23/01948/FUL

23rd October 2023

Dear Clerk

**PARISH COUNCIL CONSULTATION – APPLICATION REF. 23/01948/FUL
Construction of 15 no. dwellings with associated access, car parking and landscaping (re-
submission of 23/00649/FUL)
Land East Of Ivy Way Spaldwick**

Enclosed is the form relating to the above application.

I would be grateful to receive any views your Council would wish to make in respect of the proposed development. Any representations made should be representations of the Parish Council as such and not of individuals and should include material planning reasons for any recommendation of approval or refusal.

Residential neighbours abutting the site will be notified of its submission and invited to make comments. I will suggest to them that they may wish to let you have a copy of their comments but would remind you that it is inappropriate to delay your recommendation for this.

I should be pleased to receive your Council's views as soon as possible or in any case by 13th November 2023.

Cont.....

Pathfinder House, St Mary's Street
Huntingdon. PE29 3TN
Developmentcontrol@huntingdonshire.gov.uk

01480 388424
www.huntingdonshire.gov.uk

Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE 29 3TN

Application Number: 23/01948/FUL Case Officer Marie Roseaman
Proposal: Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL)
Location: Land East Of Ivy Way Spaldwick
Observations of Spaldwick Town/Parish Council.

Please ✓ box as appropriate

Recommend **approval** because(please give relevant planning reasons in space below)

Recommend **refusal** because...(please give relevant planning reasons in space below)
Flood risk of the area (recent flooding, impact from Ellington Brook + the ineffective valve, nearby ditches not regularly cleared, the natural down hill slope of the site + it being at the lowest point in the village), insufficient surface water storage for the proposed site, the unsuitable nature of the proposed mesh (in relation to clay surface and for an unadopted road), increase in vehicular traffic and highway safety, and the fact it's outside the village boundary so contradicts the No observations either in favour or against the proposal. HDC Local Plan.

██████████ Clerk to Spaldwick Town/Parish Council. (For GDPR purposes please do not sign)

Date :

Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

Please send response to email address below:-

Developmentcontrol@huntingdonshire.gov.uk

(Development Management)

The application including documents and plans, is also available to view from Huntingdonshire District Council's Web site at <http://www.huntingdonshire.gov.uk/developmentcontrol>
It is also possible to submit any comments you care to make direct from this site to this office. Alternatively, you may submit comments by post, email or fax. The quickest way to submit comments is by e-mail to developmentcontrol@huntingdonshire.gov.uk.

If you wish to discuss this matter further, please contact the team via email to [**developmentcontrol@huntingdonshire.gov.uk**](mailto:developmentcontrol@huntingdonshire.gov.uk).

Yours faithfully
Clara Kerr
Chief Planning Officer

Development Management Committee



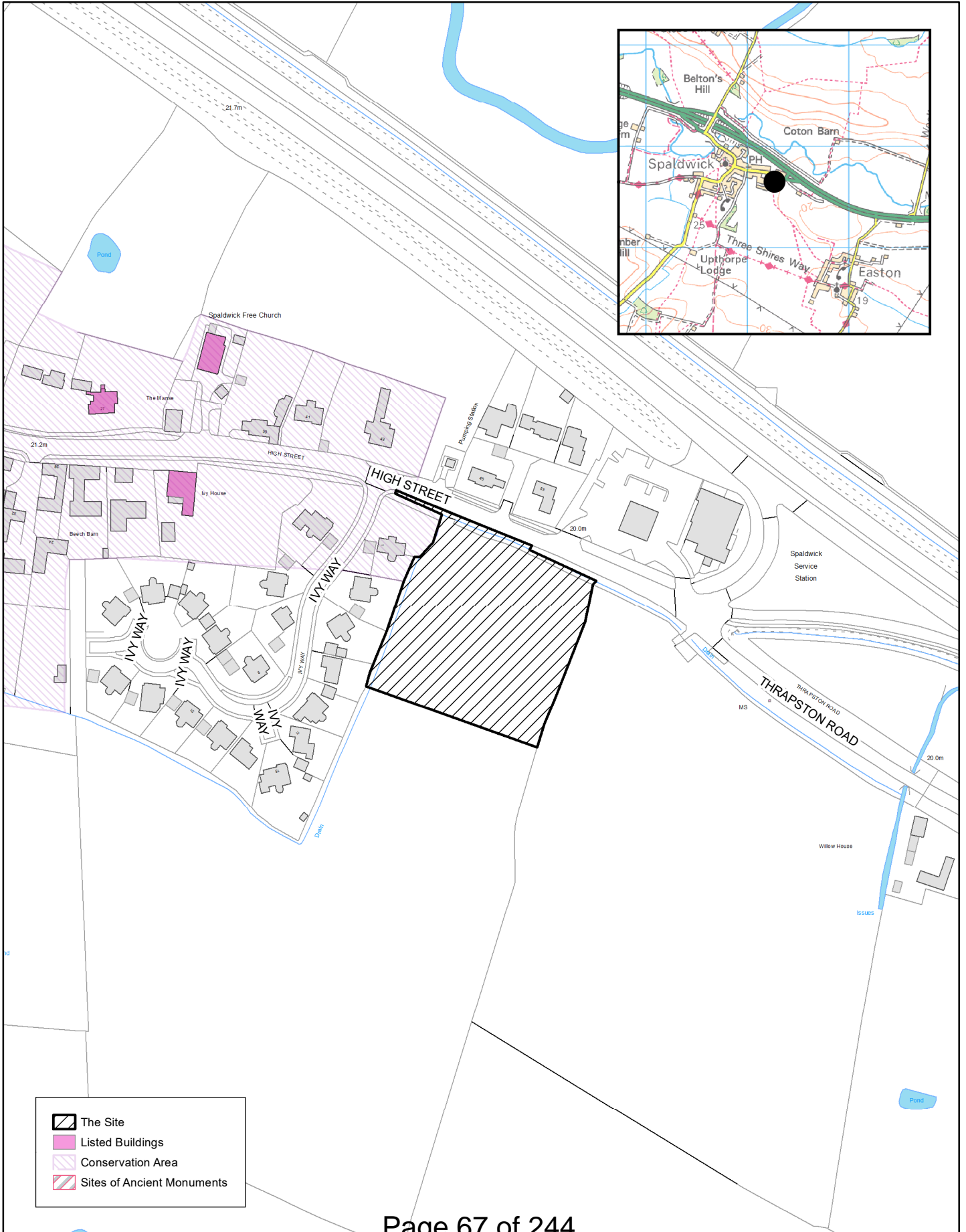
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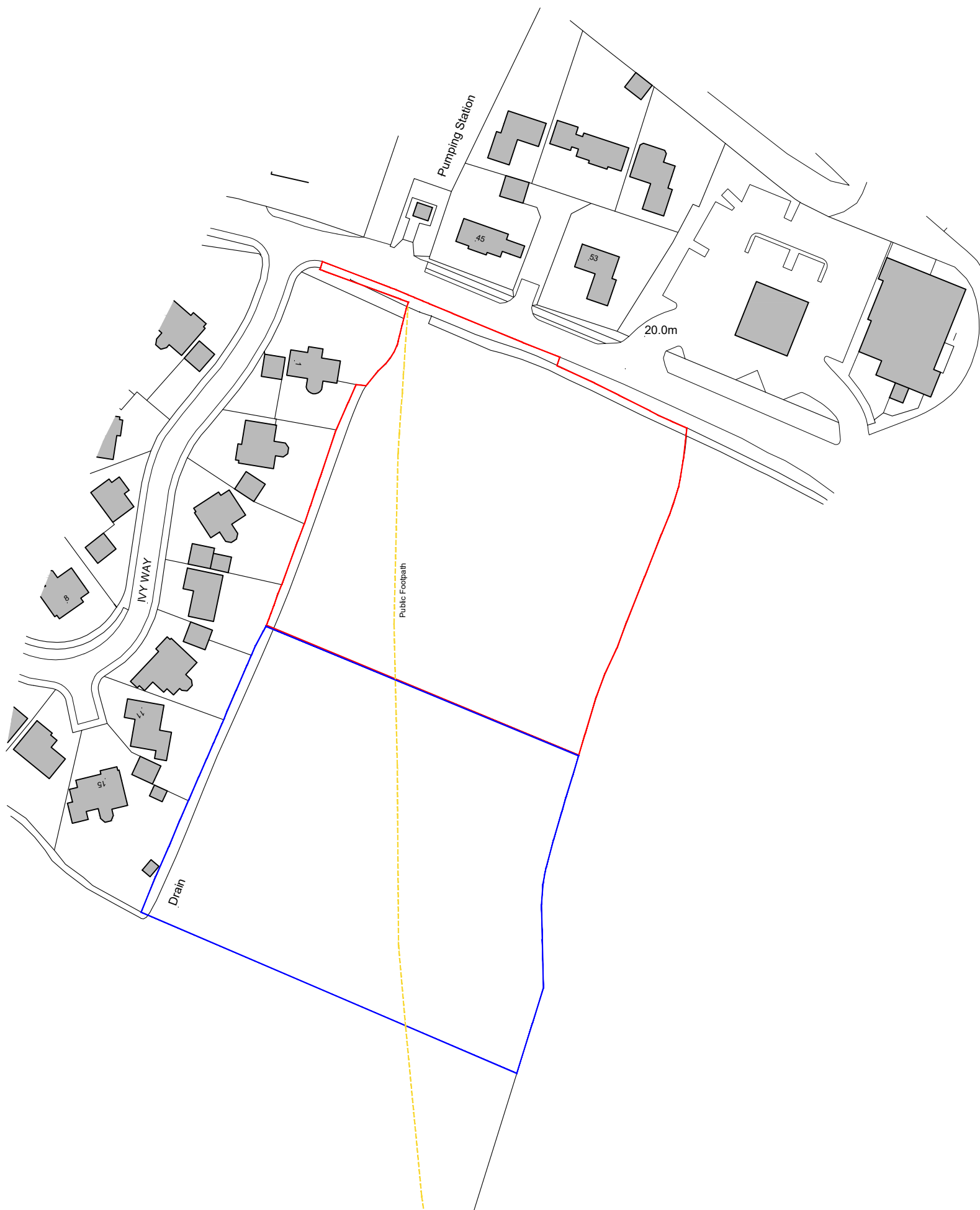
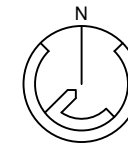
Application Ref:23/01948/FUL

Date Created: 09/04/2024

Location: Spaldwick

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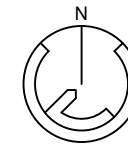


05	19.06.23	Red line updated
04	23.01.23	Overlay of PROW route
03	25.04.22	Issued for planning
02	19.04.22	Red line updated
01	19.04.22	Footpath added
00	27.01.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Site Location Plan	
DRAWING NUMBER: 0025-000	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:1250	PAPER SIZE: A3

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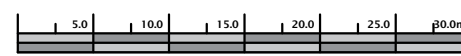


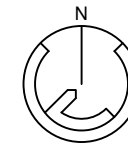


05	19.06.23	Red line updated
04	22.02.23	Issued for planning
03	25.04.22	Issued for planning
02	06.04.22	Layout Updated
01	07.02.22	Colour Added
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Existing Site Plan	
DRAWING NUMBER: 0025-010	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

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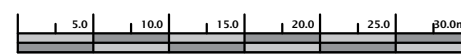




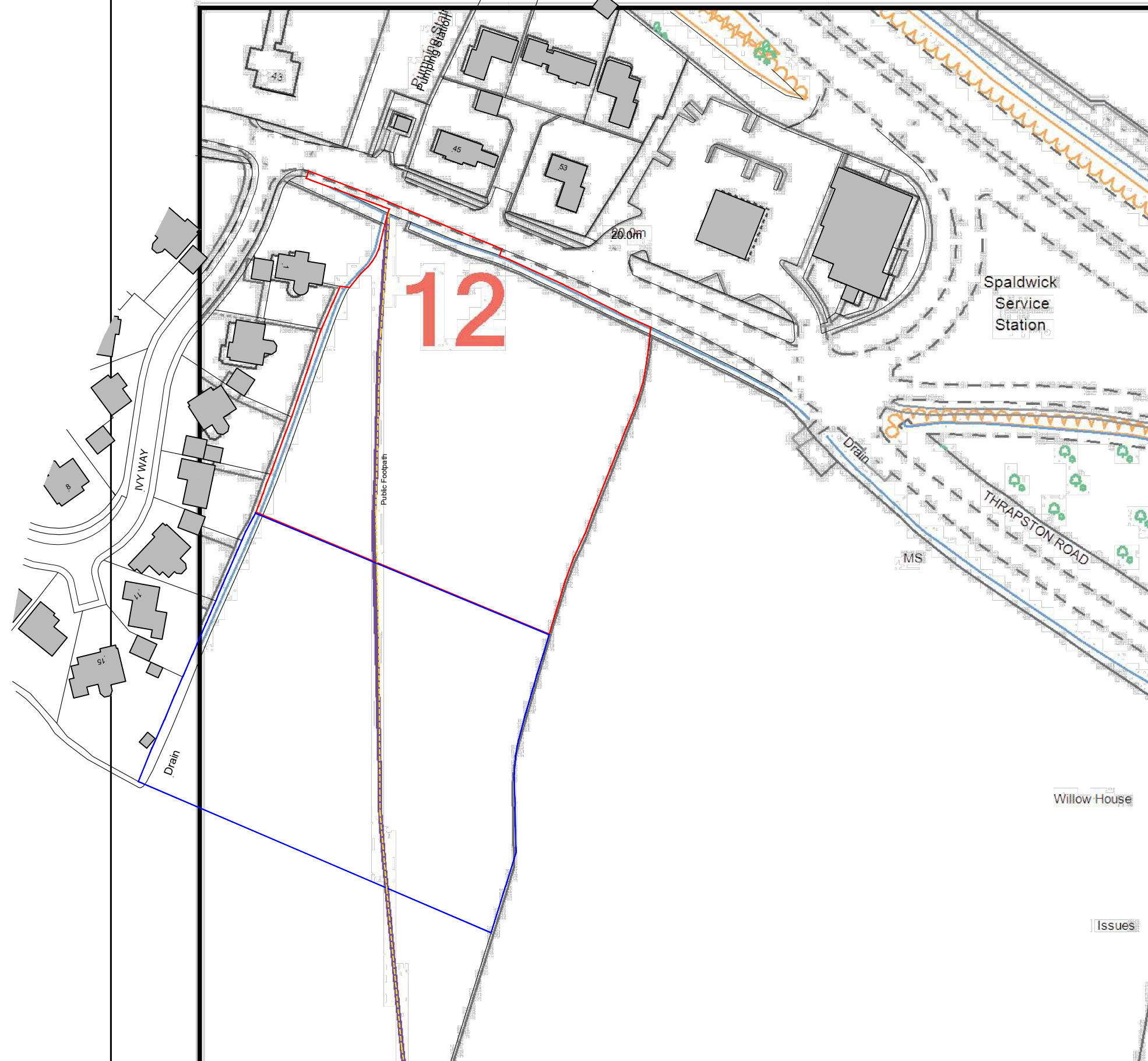
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02	06.04.22	Layout Updated
01	07.02.22	Colour Added
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Existing Site Plan	
DRAWING NUMBER: 0025-010	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS



Cambridgeshire County Council

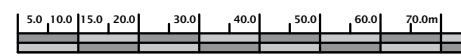


00	22.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Footpath Overlay	
DRAWING NUMBER: 0025-001	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:1250	PAPER SIZE: A3

Issues

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS





PLANTING SCHEDULE

Trees			
Species	Specification	Girth	Height
Acer campestre	Heavy Standard; 175cm Clear Stem, RB	14-16cm	3.5 - 4.0m
Alnus glutinosa	Heavy Standard; 175cm Clear Stem, RB	14-16cm	3.5 - 4.0m
Amelanchier lamarckii	Multi Stemmed; 3 Stems; RB	14-16cm	
Betula utilis jacquemontii	Multi Stemmed; 3 Stems; RB	14-16cm	
Carpinus betulus	Extra Heavy Standard; 200cm Clear Stem, RB	16-18cm	4.5 - 5.0m
Liquidambar styraciflua	Extra Heavy Standard; 200cm Clear Stem, RB	16-18cm	4.0 - 5.0m
Prunus avium	Heavy Standard; 175cm Clear Stem, RB	14-16cm	3.5 - 4.0m
Prunus cerasifera 'Nigra'	Extra Heavy Standard; 200cm Clear Stem, RB	12-14cm	3.0 - 3.5m

Shrubs				
Species	Specification	Height	Pot Size	Density
Choisya ternata	Bushy; 3/4 Breaks	30-40cm	3L	5/m²
Cornus stolonifera 'Flaviramea'	Branched; 3/5 Breaks	40-60cm	3L	3/m²
Lavandula angustifolia 'Hidcote'	Bushy; 3/4 Breaks	20-30cm	3L	5/m²
Pachysandra terminalis 'Variegata'	Bushy; 2/3 Breaks	20-30cm	3L	4/m²
Pyracantha 'Orange Glow'	Bushy; 3/4 Breaks	30-40cm	3L	4/m²
Vinca minor	C. Bushy; 3/4 Breaks	20-30cm	3L	15/m²

Species-rich Native Hedgerow					
Species	Specification	Height	Pot Size	Density	Mix
Acer campestre	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	10%
Cornus sanguinea	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	10%
Corylus avellana	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	15%
Ilex aquifolium	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	25%
Prunus spinosa	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	25%
Sambucus nigra	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	15%

Species within hedge mixes to be planted in groups of 5, 7 or 9 in double staggered row, 450mm between rows and 300mm between plants

Native Shrub Mix					
Species	Specification	Height	Pot Size	Density	Mix
Corylus avellana	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m²	25%
Crataegus monogyna	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m²	25%
Prunus spinosa	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m²	20%
Viburnum lantana	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m²	15%
Viburnum opulus	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m²	15%

Species within shrub mixes to be planted in groups of 5, 7 or 9

Grass Mixes		
Type	Mix	Specification
Flowering Lawn	Emorsgate EL1 Flowering Lawn Mixture	Sown at 40kg / ha
Native Wildflower Grass Mix	Landlife Wildflowers LWXM Dual Purpose 70/30 Wildflower Meadow Mix	Sown at 40kg / ha

Bulb Mix		
Species	Density	Mix
Hyacinthoides non-scripta	10/m²	20%
Narcissus 'Dutch Master'	10/m²	40%
Tulipa 'Ballarina'	10/m²	20%
Tulipa 'Spring Green'	10/m²	20%

Species within bulb mixes to be planted randomly

Page 7 of 214

Scale 1:250 @ A1
 0m 5m 10m 20m

Rev.	Date	Summary
A	13.04.2022	Footway extended to Ivy Way
B	14.04.2022	Private drive surfacing amended
C	14.04.2022	Attenuation basin removed
D	19.04.2022	Planting amended to accommodate 5m access along western boundary
E	20.03.2023	Revised to new architects layout
F	23.03.2023	Revised to Urban Design Officers Comments

Based on architects drawing no. 230203-XR-0025-Proposed Site Plan

Key	Description
[Red Line]	Site Boundary
[Green Circle]	Proposed Shrub
[Blue Circle]	Proposed Flowering Lawn
[Light Green Circle]	Proposed Native Wildflower Mix
[Green Circle]	Proposed Tree
[Dotted Circle]	Proposed Hedge
[Dotted Circle]	Proposed Bulb Mix

[Orange Line]	1.8m High Brick Wall
[Blue Line]	1.8m High Timber Closed Board Fence
[Grey Area]	Tarmac Road / Footway - Highway to be porous as per Engineer's spec
[Grey Area]	Block Paved Parking Bays / Private Drives - Drives to be porous as per Engineer's spec

[Brown Area]	Gravel Footpath
[Yellow Area]	Buff Paving Slab Front Paths & Patios
[Grey Area]	Non-Porous Private Drive - as per Engineer's spec

ES LANDSCAPE PLANNING
 10480L.HSLP.001 Rev. F
 Date: Apr 2022 Drawn: GC Checked: AM



Key

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m ²]	GIA [ft ²]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

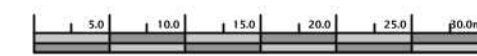
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

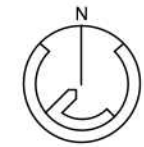
Site Area | 8,184m² | 2.02Acres | 0.81ha
 Density | 12.5u/ha | 6,459ft² per acre

07	09.11.23	Updated with LA highways comments
06	19.06.23	Red line updated
05	21.03.23	Issued for planning
04	21.02.23	Issued for planning
03	25.01.23	Updated to revised layout
02	25.04.22	Issued for planning
01	06.04.22	Issued for information
00	17.03.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan Drainage	
DRAWING NUMBER: 0025-101	REVISION: 07
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS





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Accommodation Schedule				
Number	Type	Bedrooms	GIA [m ²]	GIA [ft ²]
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Total GIA			1206.4	12985.7

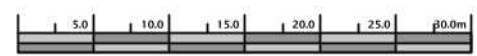
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

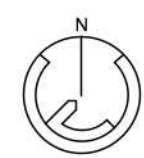
Site Area | 8,184m² | 2.02Acres | 0.81ha
 Density | 12.5u/ha | 6,459ft² per acre

18	09.11.23	Updated with LA highways comments
17	19.06.23	Red line updated
16	21.03.23	Issued for planning
15	21.02.23	Issued for planning
14	08.02.23	Layout updated with UD officer comments
13	25.01.23	Shared surface updated in line with CCC design guide
12	25.01.23	Dimensions added to South & East boundaries
11	23.01.23	Alterations further to discussions with LPA
10	19.01.23	Tenure shown
09	16.01.23	Layout reduced to 15 units
08	06.09.22	Dropped kerb note added to eastern side of site access
07	25.04.22	Issued for planning
06	06.04.22	Issued for information
05	18.03.22	Issued for information
04	10.03.22	Distance to top of drainage ditches added
03	28.02.22	RPA added to drawing
02	22.02.22	Updated with drainage information
01	03.02.22	Updated with survey information
00	28.01.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan	
DRAWING NUMBER: 0025-100	REVISION: 18
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

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Accommodation Schedule				
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14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

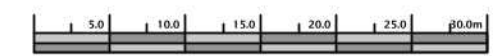
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

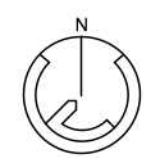
Site Area | 8,184m² | 2.02Acres | 0.81ha
 Density | 12.5u/ha | 6,459ft² per acre

06	09.11.23	Updated with LA highways comments
05	19.06.23	Red line updated
04	21.03.23	Issued for planning
03	21.02.23	Issued for planning
02	25.04.22	Issued for planning
01	06.04.22	Issued for information
00	18.03.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan Trees	
DRAWING NUMBER: 0025-102	REVISION: 06
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

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Key

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m ²]	GIA [ft ²]
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14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

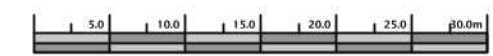
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

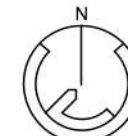
Site Area | 8,184m² | 2.02Acres | 0.81ha
 Density | 12.5u/ha | 6,459ft² per acre

04	09.11.23	Updated with LA highways comments
03	19.06.23	Red line updated
02	21.03.23	Issued for planning
01	21.02.23	Issued for planning
00	06.06.22	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan Dimensions	
DRAWING NUMBER: 0025-103	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

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Key

Accommodation Schedule				
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15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

- Affordable Rent
- Shared Ownership
- First Home

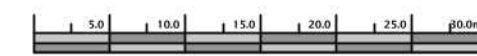


Page 77 of 244 YAM YNI

02	09.11.23	Updated with LA highways comments
01	19.06.23	Red line updated
00	30.03.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan Tenure	
DRAWING NUMBER: 0025-104	REVISION: 02
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

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INDICATIVE

45

53



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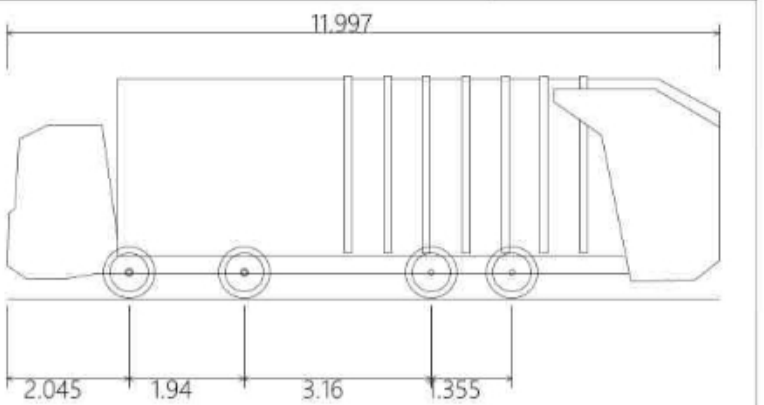
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53



High Street, Spaldwick - Swept-Path
Analysis of Refuse Vehicle

1:250 @ A1
Rev A



Vulture 3025(N) (with Scania P94GB 8x4 NB300 chassis)	11.997m
Overall Length	11.997m
Overall Width	2.500m
Overall Body Height	3.749m
Min Body Ground Clearance	0.302m
Track Width	2.490m
Lock to lock time	4.00%
Kerb to Kerb Turning Radius	10.800m



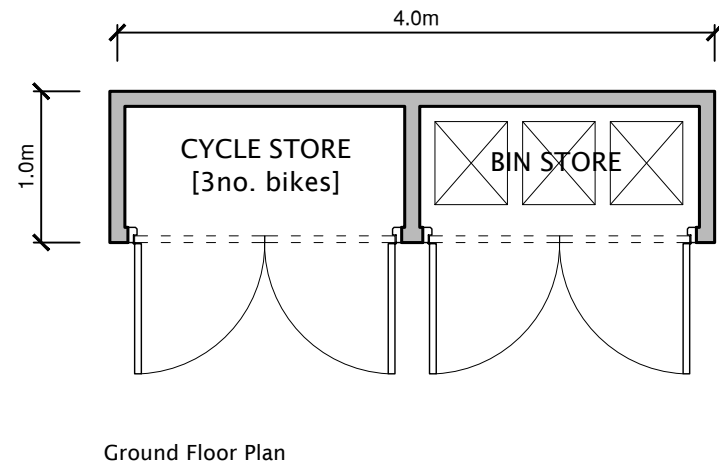
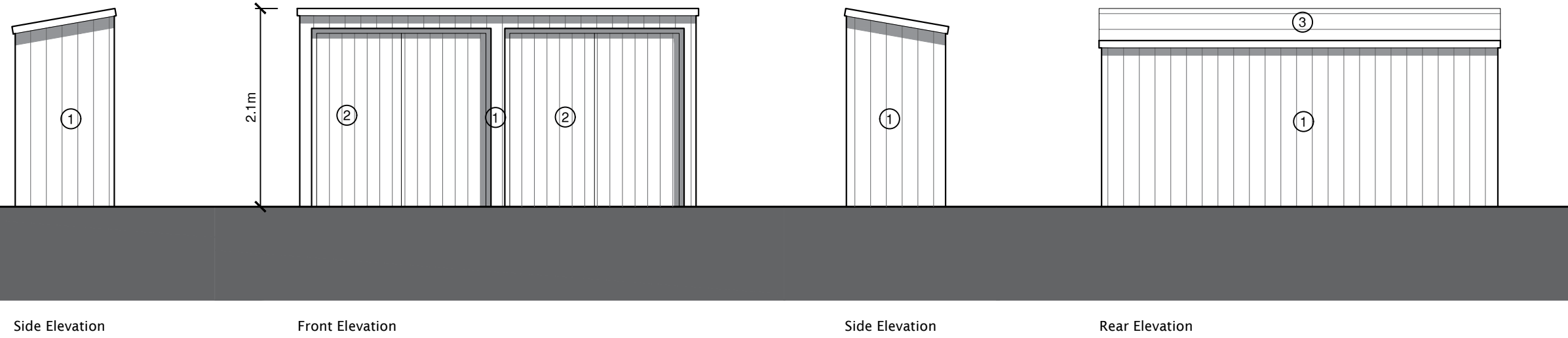
Page 79 of 244

Key

- A Category Trees & Groups
- C Category Trees & Groups
- B Category Trees & Groups
- U Unsuitable for Retention Category Trees & Groups
- Hedgerows
- Root Protection Areas (RPA)

 RJ Tree Services Ltd
 27 Main Street
 Foxton
 Leic's
 LE16 7RB
 07765792719
 info@rjtreasureservices.co.uk

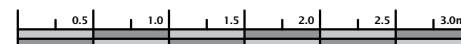
Tree Survey & Constraints Plan 02	
TITLE Land off High Street, Spaldwick, Cambs, PE28 0TD	
SIZE A1	For: Blenheim Land and Homes Ltd
SCALE 1:300	Issue date: April 2022



- MATERIAL KEY**
1. Vertical timber cladding
 2. Timber doors
 3. Felt roof

00	23.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Bin & Bike Store Plan & Elevations	
DRAWING NUMBER: 0025-120	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:50	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	





Street Elevation 01

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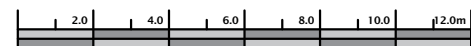
Street Elevation 02

KEY

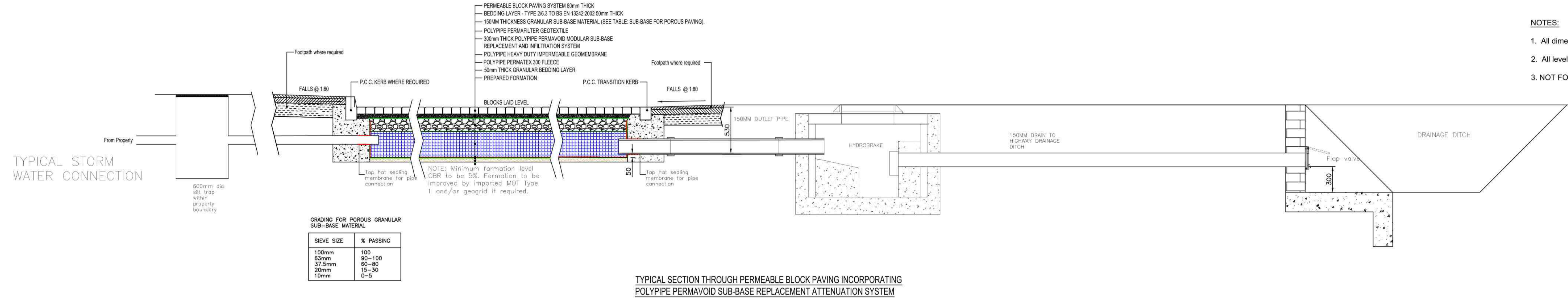


02	22.02.23	Issued for planning
01	25.04.22	Issued for planning
00	18.03.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Street Elevations	
DRAWING NUMBER: 0025-300	REVISION: 02
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:200	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



DRAWING STATUS						
For Approval						
DESCRIPTION	REV.	DATE	DR'N	CHK'D	APP'D	
ORIGINAL ISSUE	O	1/4/22	SW	SW	SW	
Revised	A	14/4/22	SW	SW	SW	
Revised	B	4/10/22	SW	SW	SW	
Revised	C	30/5/23	SW	SW	SW	
Revised	D	14/6/23	SW	SW	SW	
Revised	E	25/7/23	SW	SW	SW	
Drainage note added	F	9/8/23	SW	SW	SW	

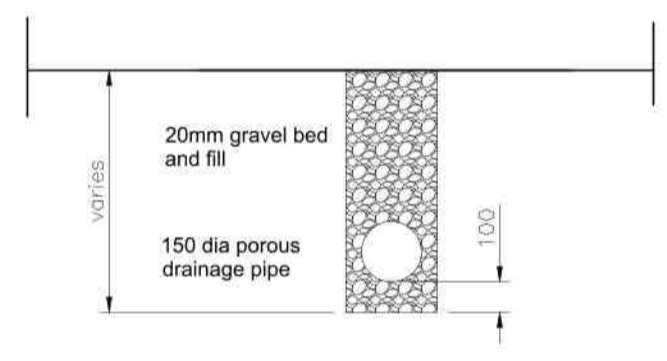


- NOTES:**
1. All dimensions are in mm unless otherwise stated
 2. All levels are in m AOD
 3. NOT FOR CONSTRUCTION

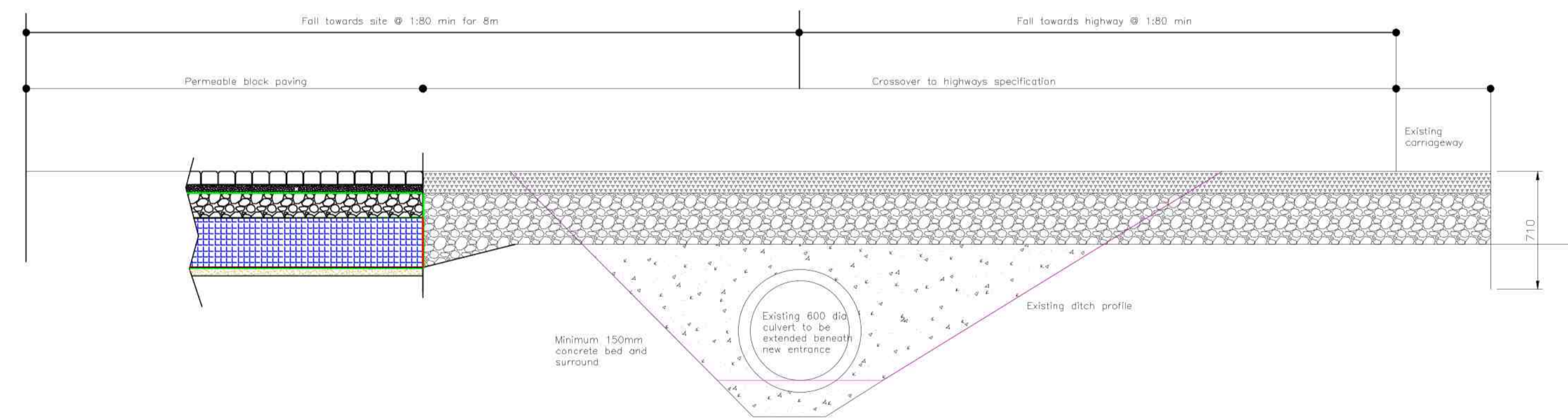
GRADING FOR POROUS GRANULAR SUB-BASE MATERIAL

SIEVE SIZE	% PASSING
100mm	100
63mm	90-100
37.5mm	60-80
20mm	15-30
10mm	0-5

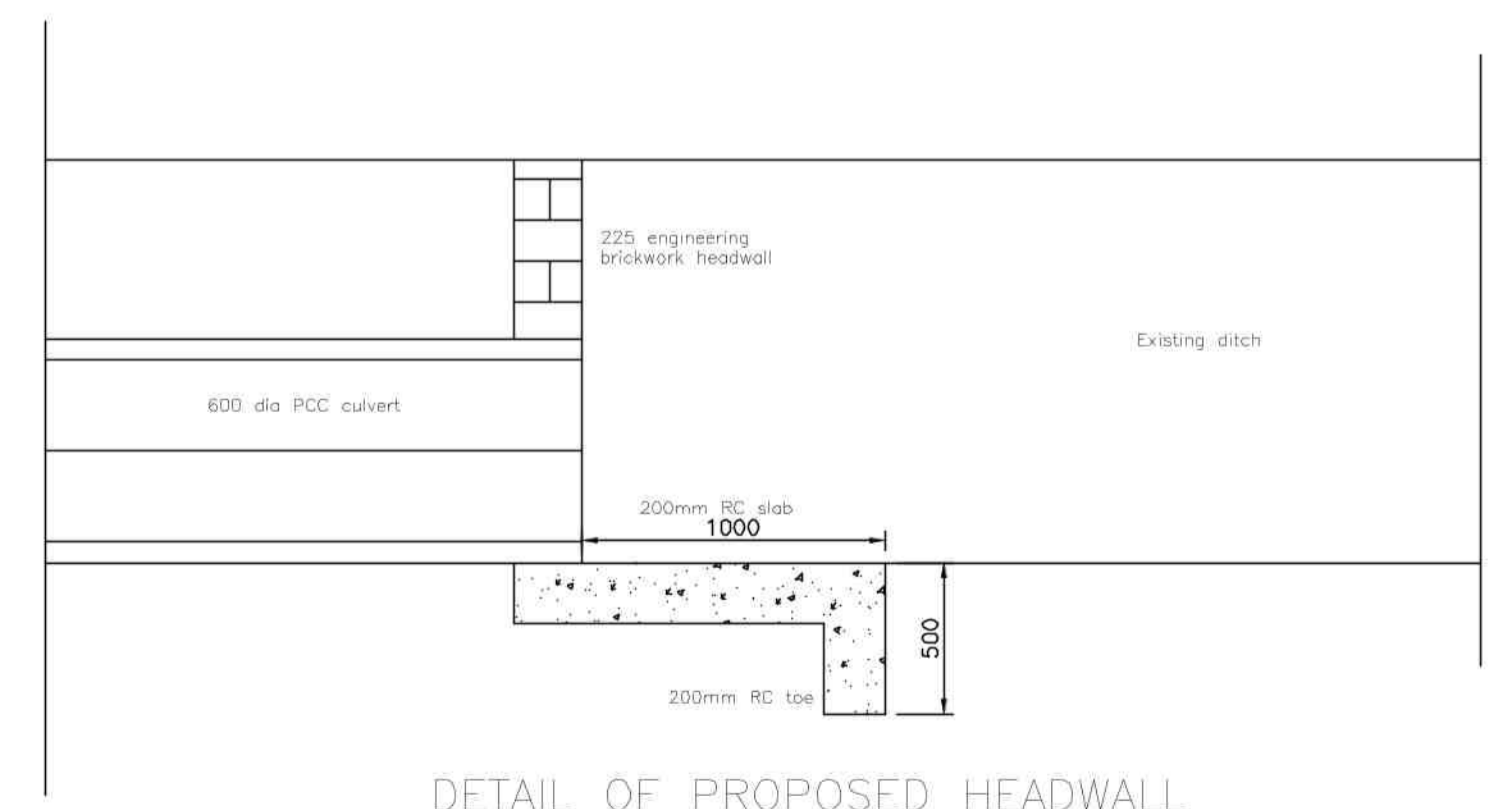
TYPICAL SECTION THROUGH PERMEABLE BLOCK PAVING INCORPORATING POLYPIPE PERMAVOID SUB-BASE REPLACEMENT ATTENUATION SYSTEM



TYPICAL FILTER DRAIN



DETAIL OF CROSSING OF ROADWAY OVER EXISTING DITCH



DETAIL OF PROPOSED HEADWALL

FENLAND HYDROTECH
 11, Old Dry Lane
 Brigstock,
 KETTERING,
 NORTHAMPTONSHIRE,
 NN14 3JF
 TEL - 01832 734612
 WEB - www.fenhydro.co.uk

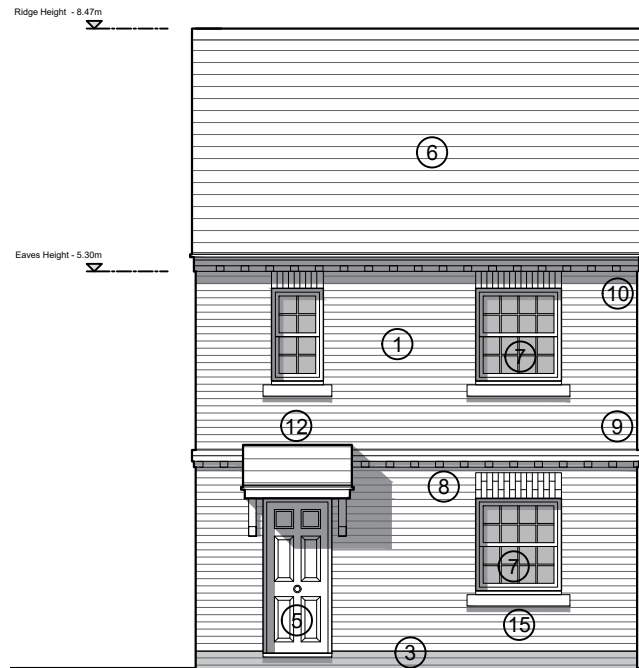
CLIENT
 Blenheim Land and Homes Ltd

PROJECT
 Proposed Residential Development
 Land adjacent to Ivy Way, Spaldwick

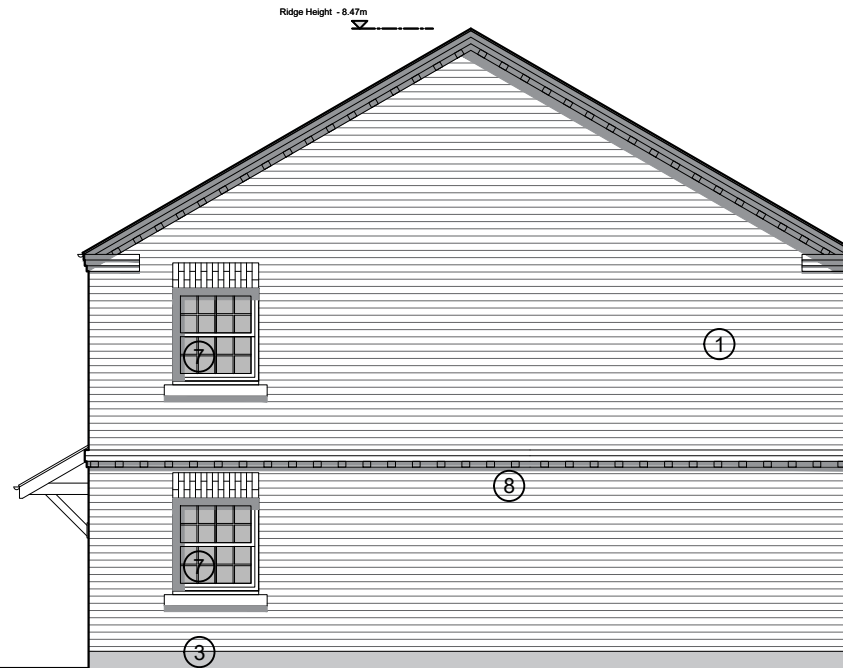
TITLE
 Drainage details

DRAWING SIZE A1	CONTRACT No.
SCALE/S 1:25	DRAWING No. FH1537/P/102
	REV. F

- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill

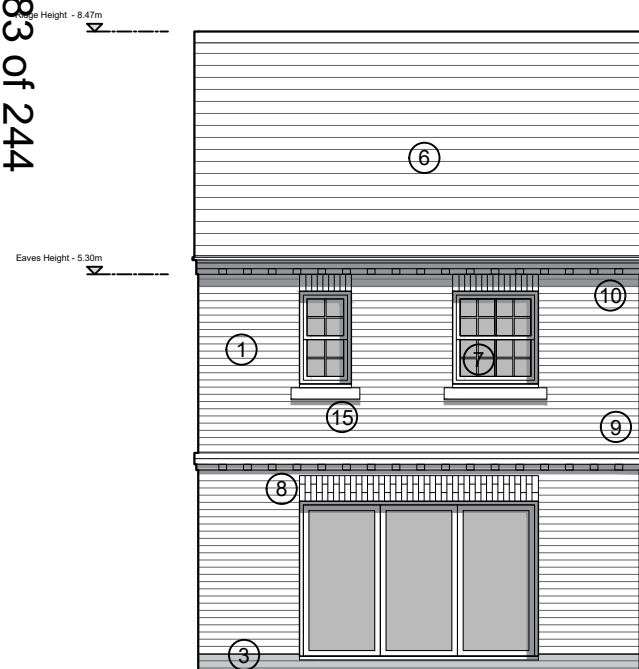


Front Elevation

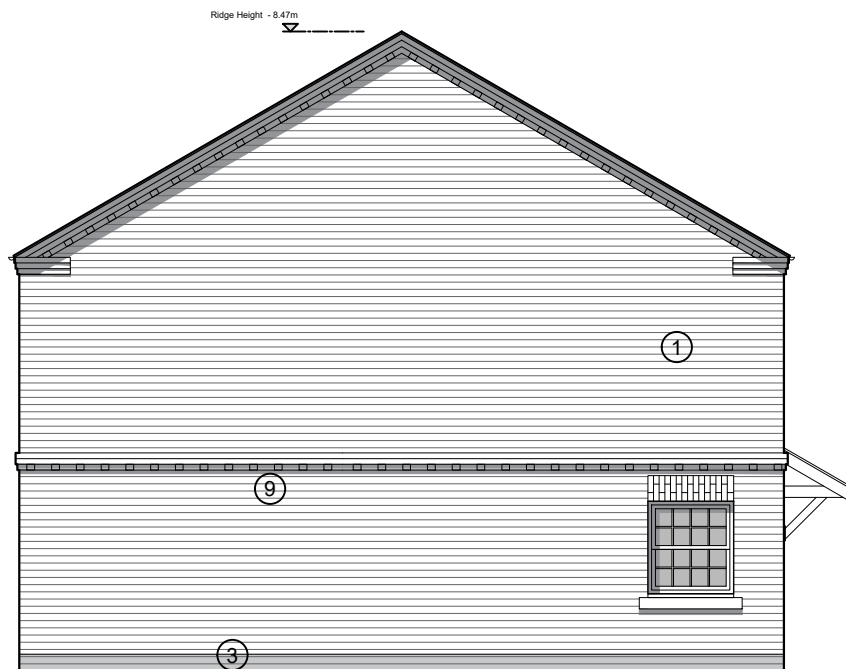


Side Elevation

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Rear Elevation

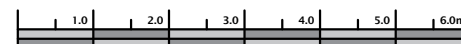


Side Elevation

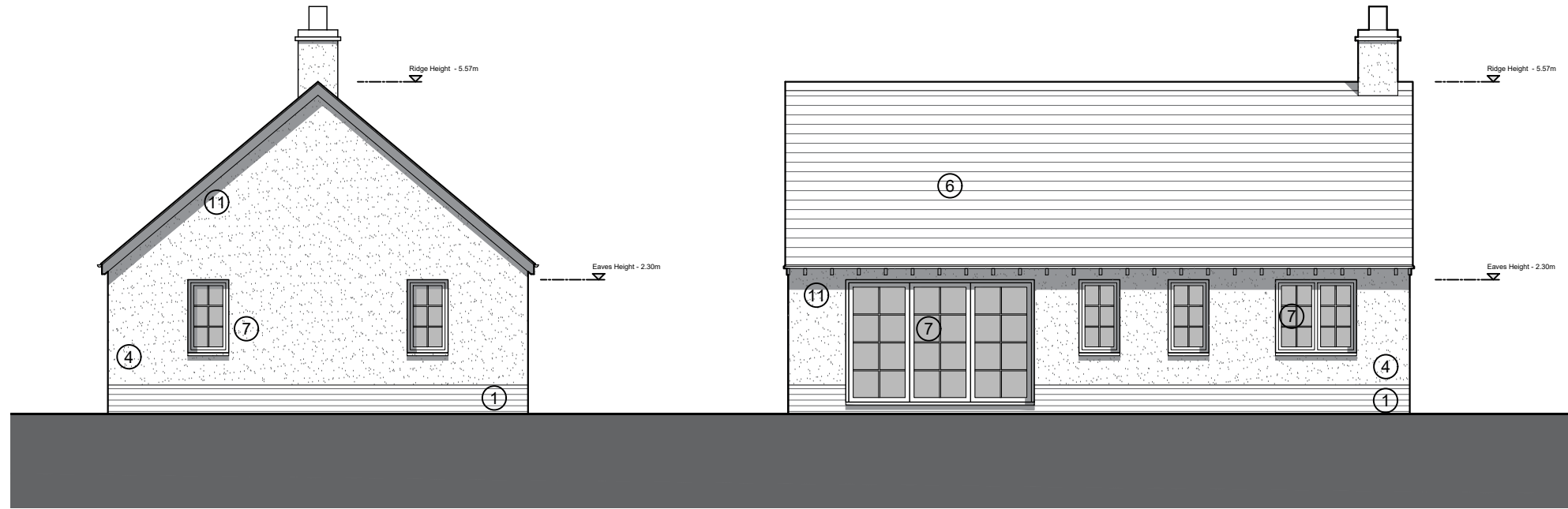
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REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 9 Elevations	
DRAWING NUMBER: 0025-328	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS

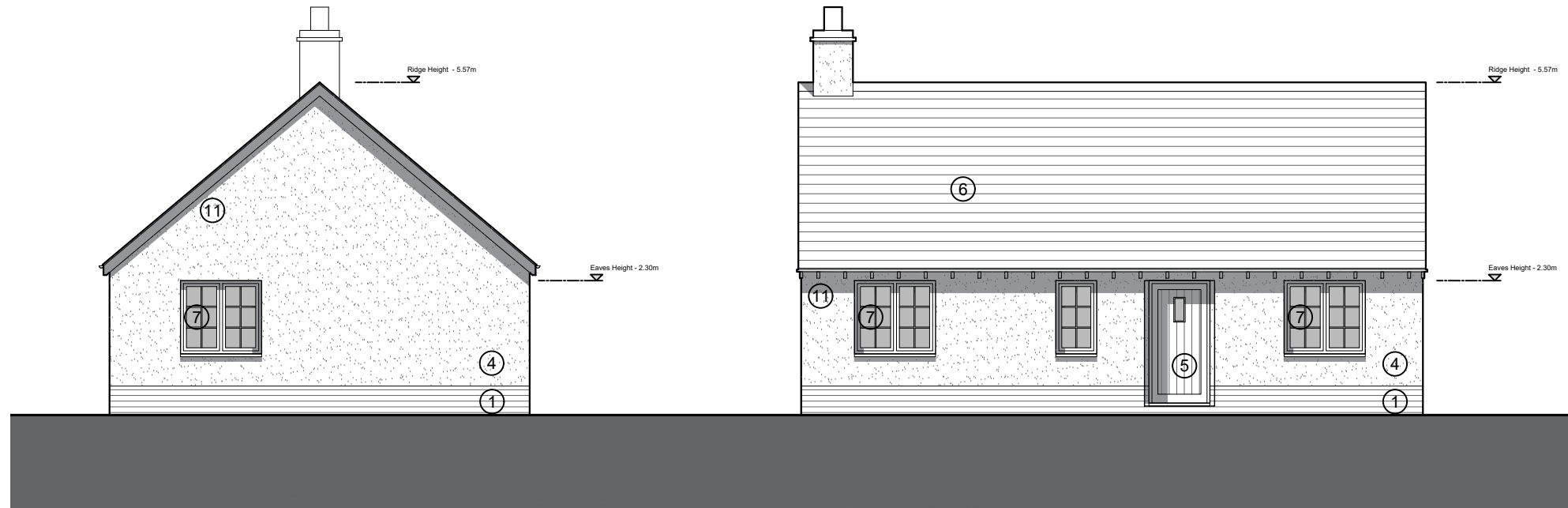


- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Side Elevation

Rear Elevation

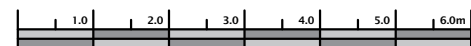


Side Elevation

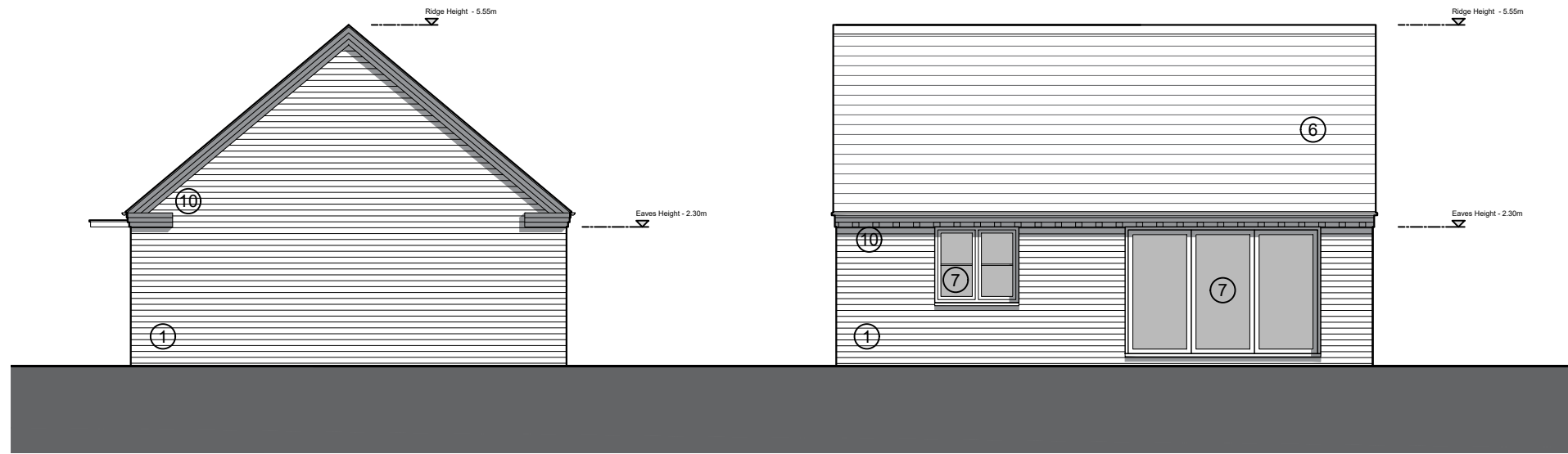
Front Elevation

04	21.02.23	Unit number and type changed
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 10 Elevations	
DRAWING NUMBER: 0025-317	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	

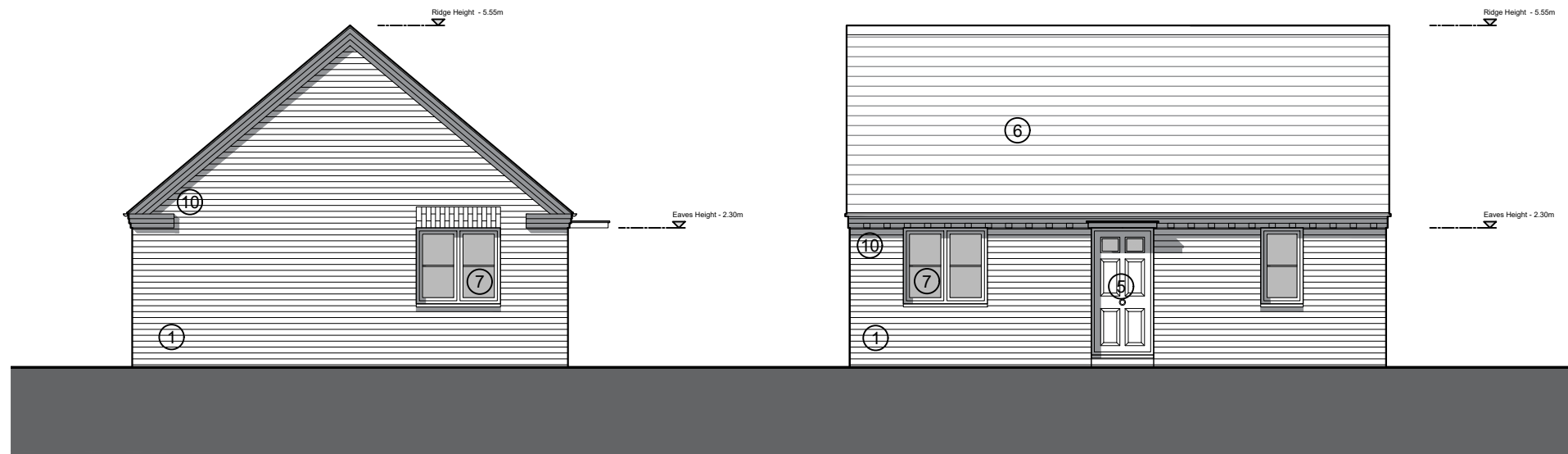


- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Side Elevation

Rear Elevation

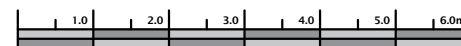


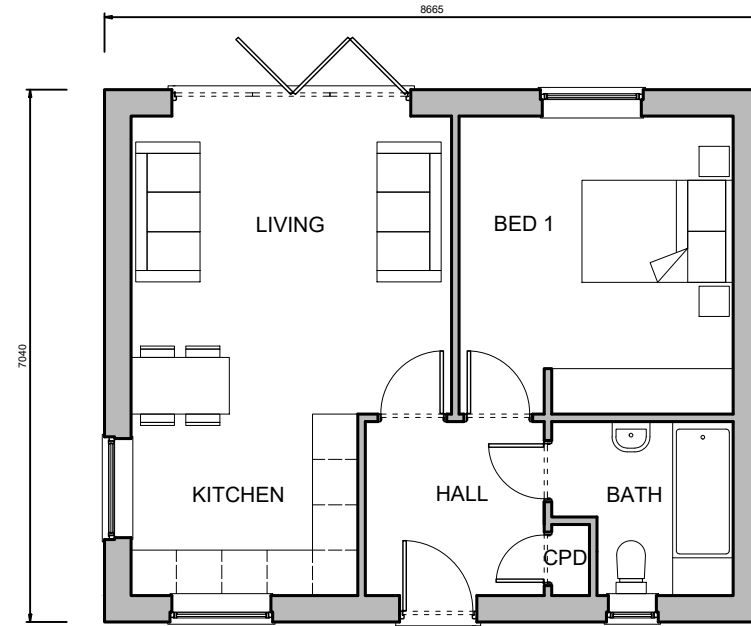
Side Elevation

Front Elevation

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 11 Elevations	
DRAWING NUMBER: 0025-318	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	

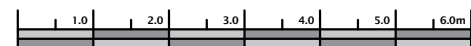




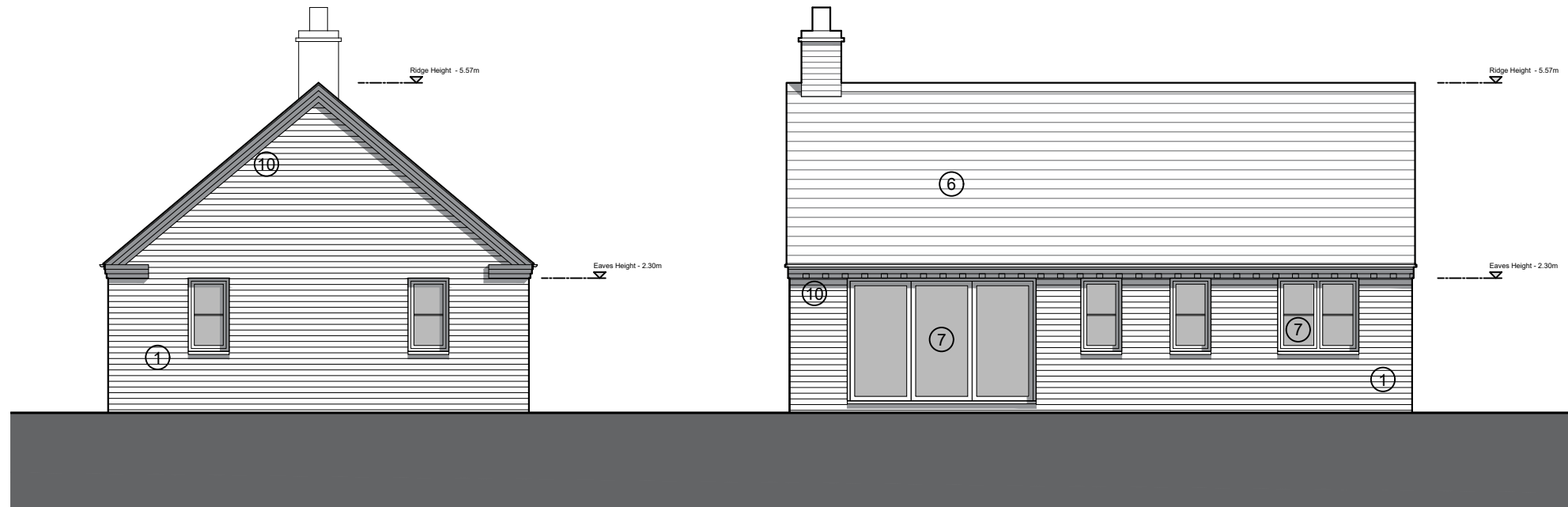
Ground Floor Plan (Bungalow)

00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 11 Floor Plans	
DRAWING NUMBER: 0025-118	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	

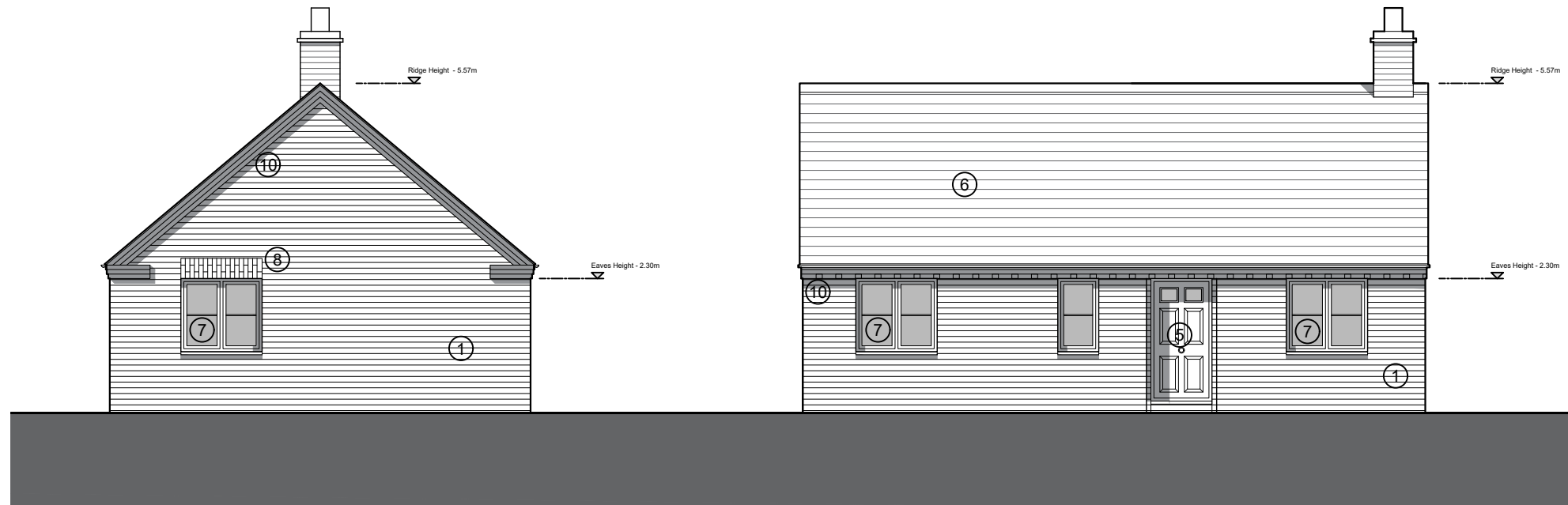


- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Side Elevation

Rear Elevation



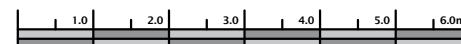
Side Elevation

Front Elevation

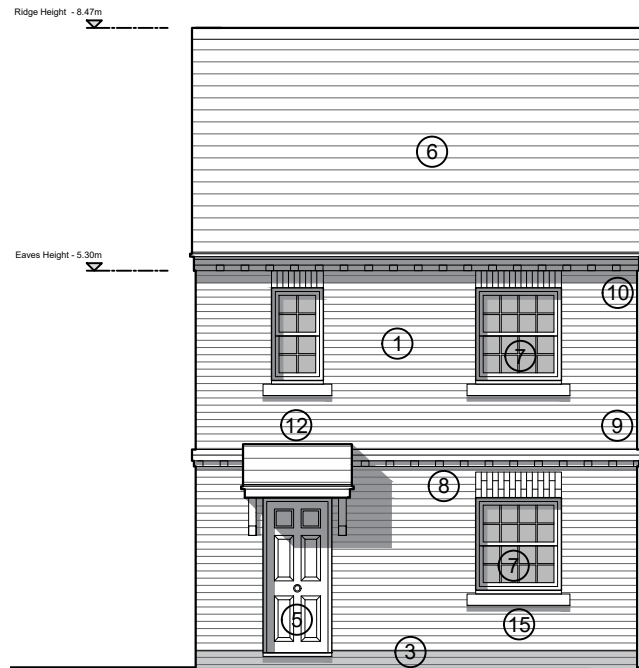
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REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 12 Elevations	
DRAWING NUMBER: 0025-327	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

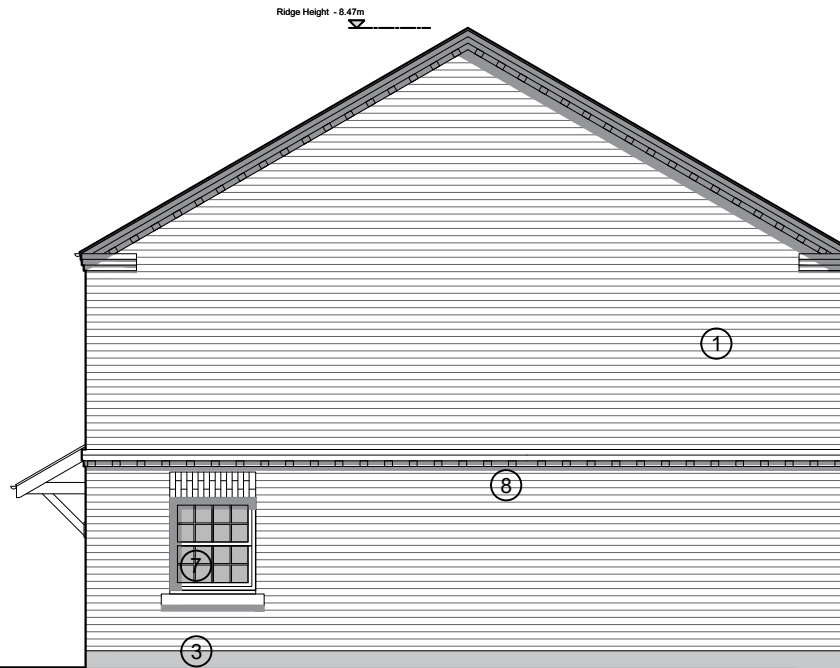
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS



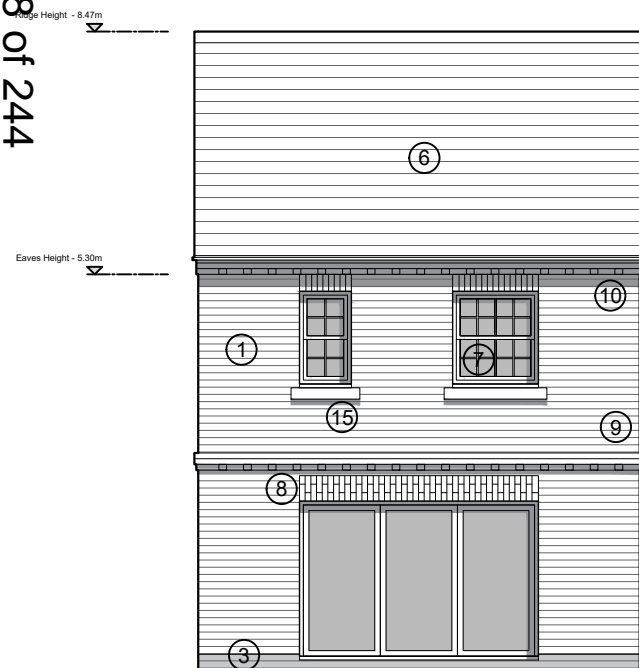
- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



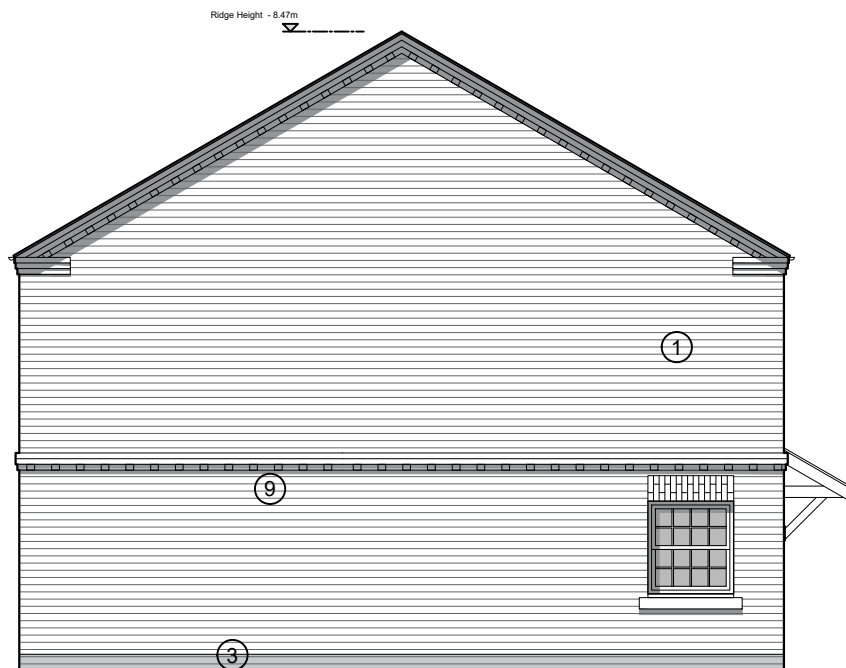
Front Elevation



Side Elevation



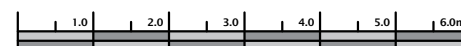
Rear Elevation

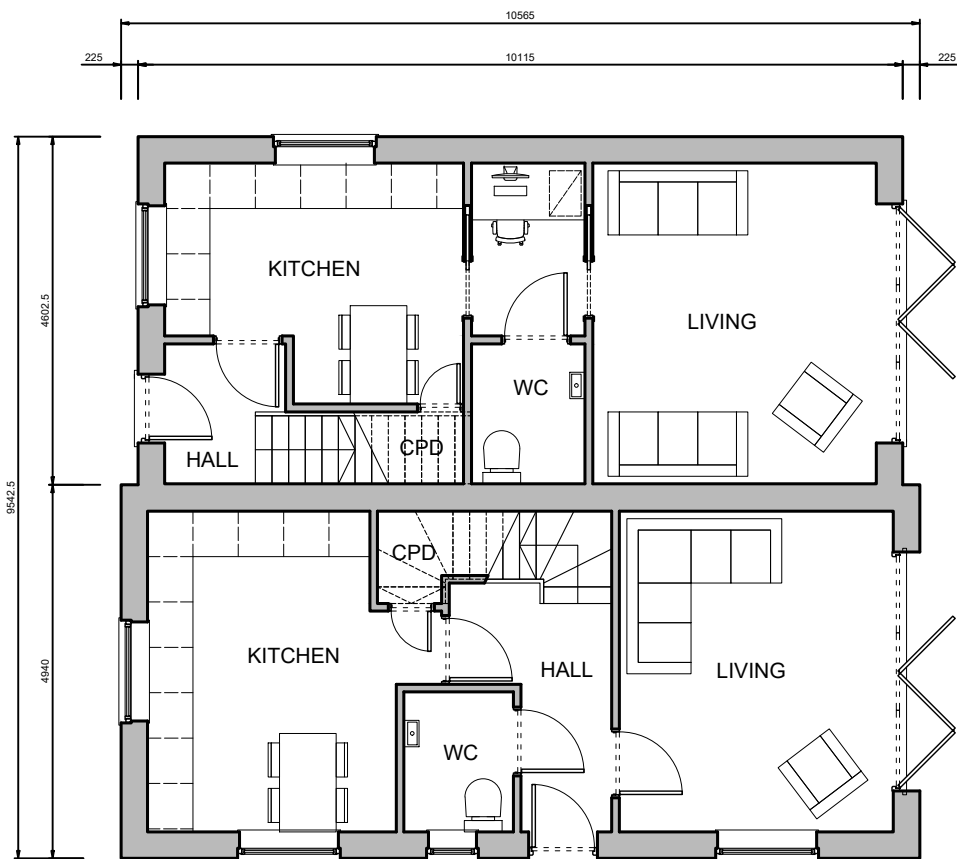
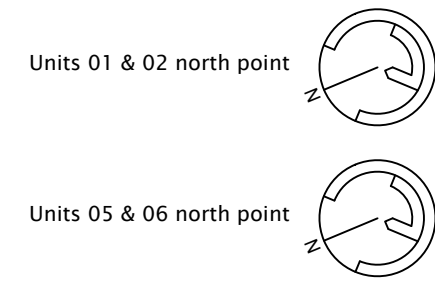


Side Elevation

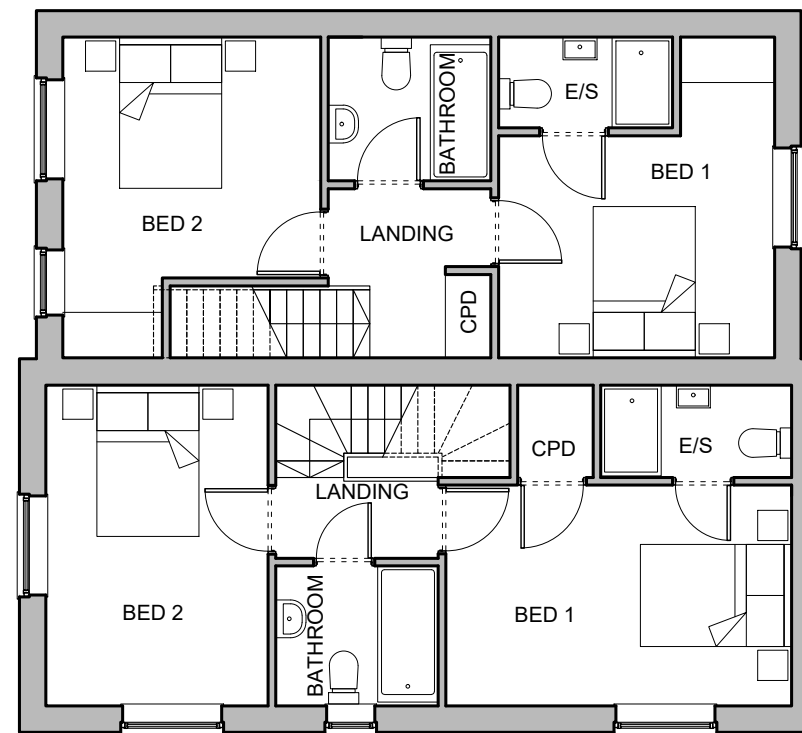
REV:	DATE:	UPDATES:
04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information

DRAWING TITLE: Unit 15 Elevations	
DRAWING NUMBER: 0025-314	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	





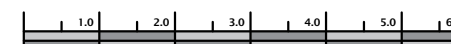
Ground Floor Plan
(Units 5 & 6 mirrored)



First Floor Plan
(Units 5 & 6 mirrored)

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

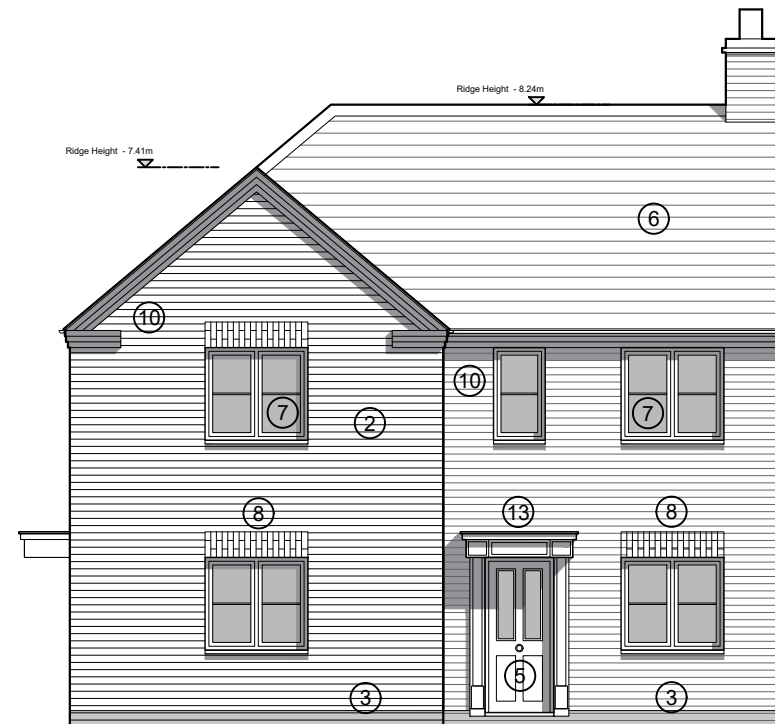
DRAWING TITLE: Units 01, 02, 05 & 06 Floor Plans	
DRAWING NUMBER: 0025-111	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



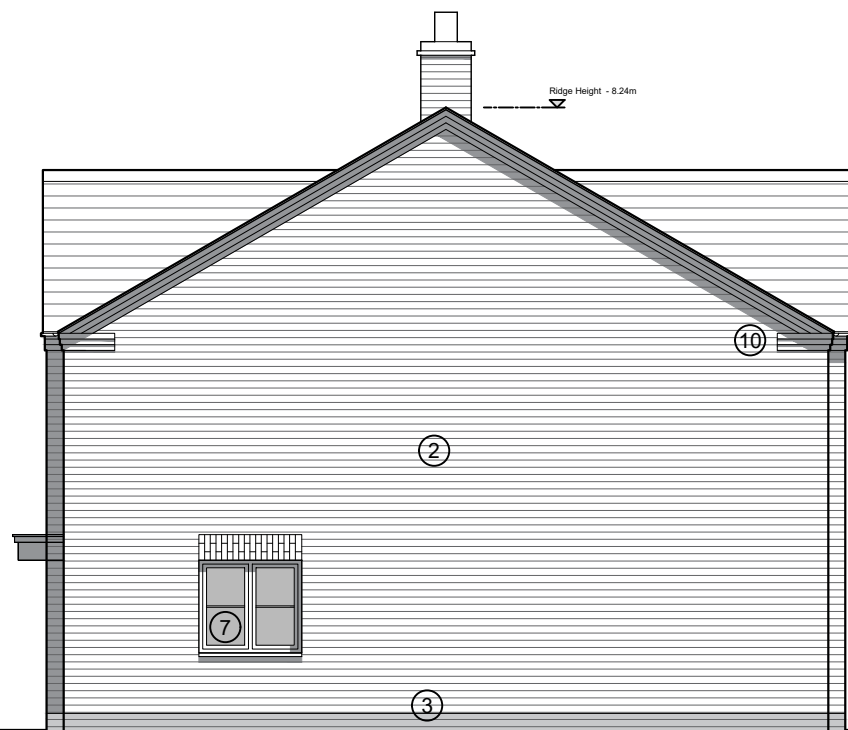
- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



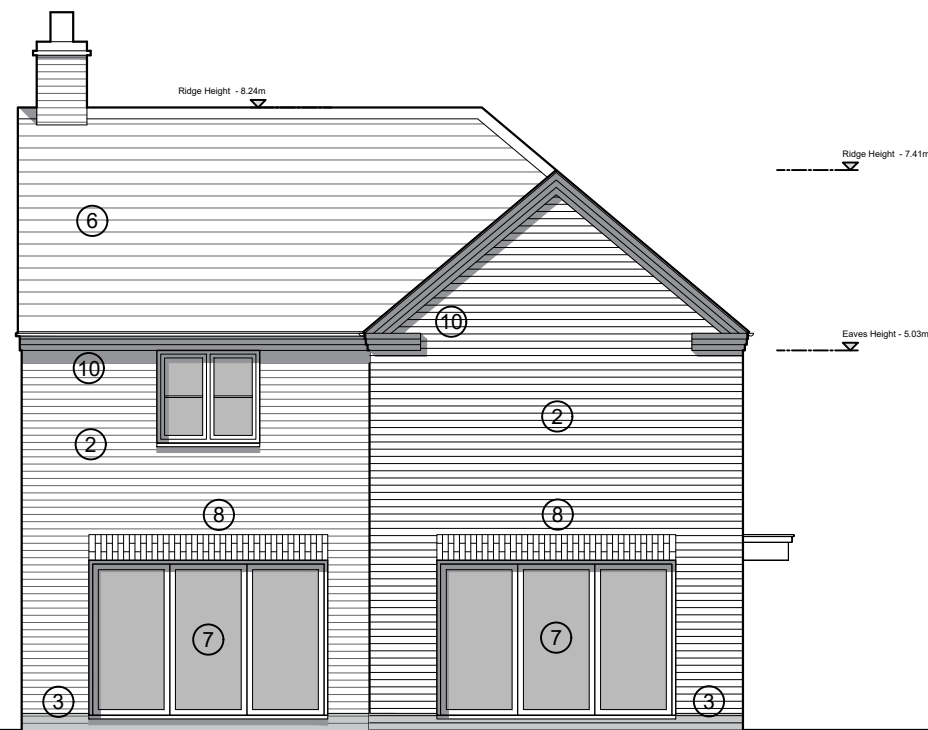
Front Elevation



Side Elevation



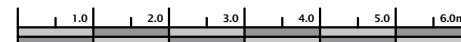
Rear Elevation

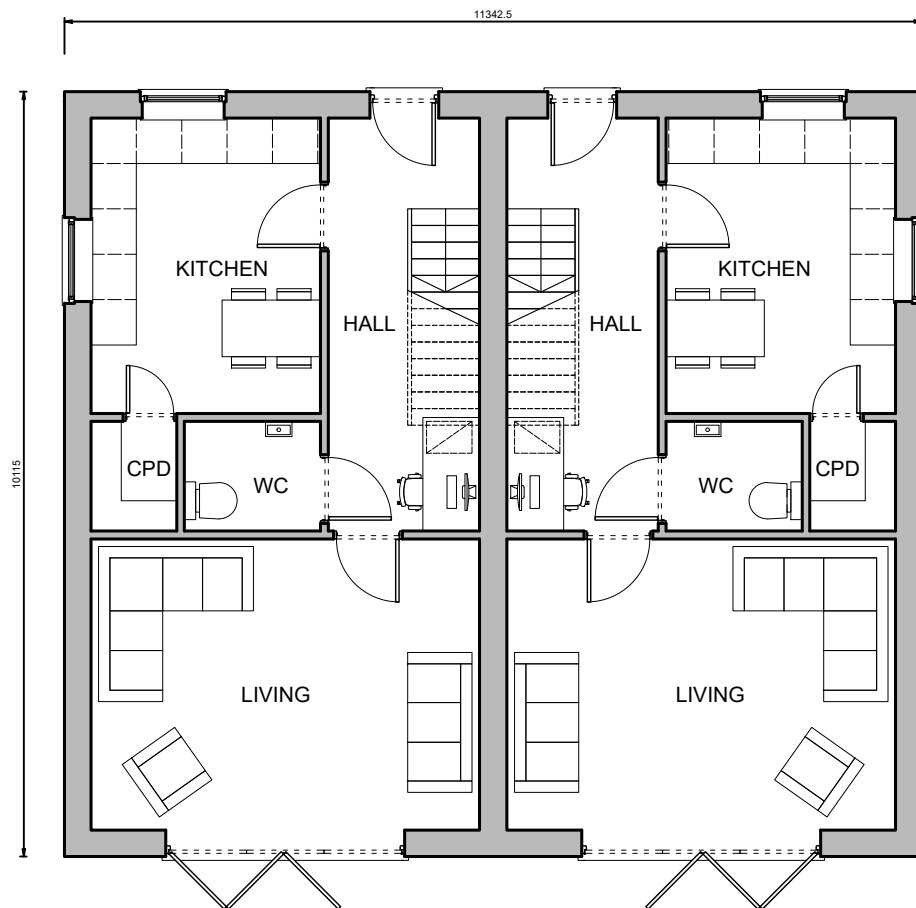
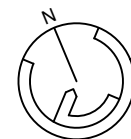


Side Elevation

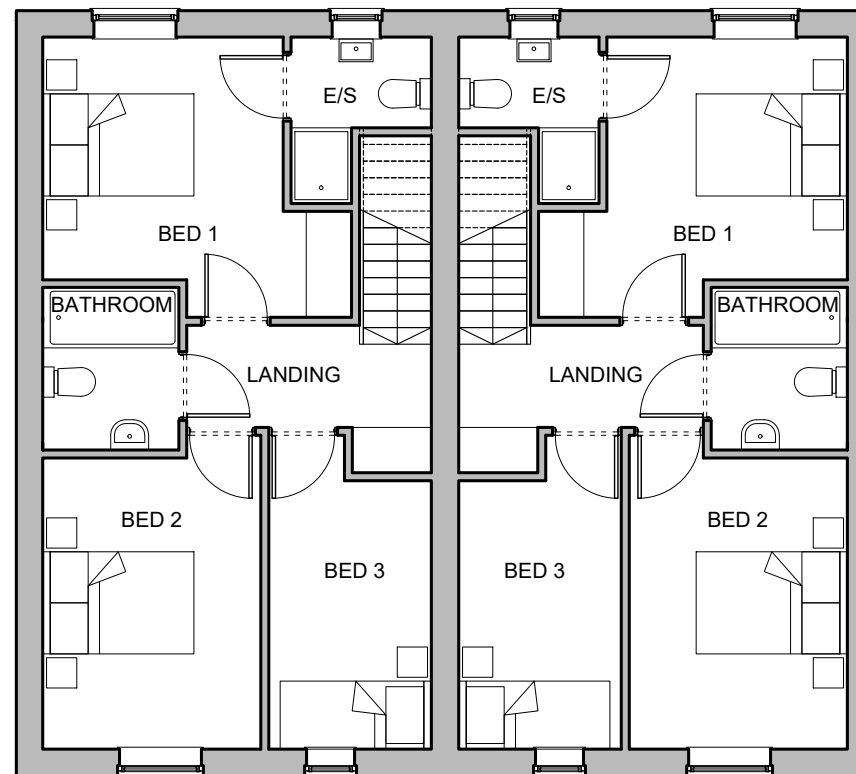
05	21.02.23	Issued for planning
04	06.06.22	Dimensions added
03	25.04.22	Issued for planning
02	18.03.22	Issued for information
01	03.02.02	Issued for information
00	27.01.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 01 & 02 Elevations	
DRAWING NUMBER: 0025-311	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	





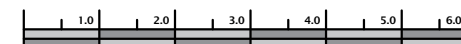
Ground Floor Plan



First Floor Plan

06	21.02.23	Issued for planning
05	06.06.22	Dimensions added
04	25.04.22	Issued for planning
03	18.03.22	Issued for information
02	03.02.22	Issued for information
01	27.01.22	Updated with changes to elevations
00	21.01.22	Issued for information
REV:	DATE:	UPDATES:

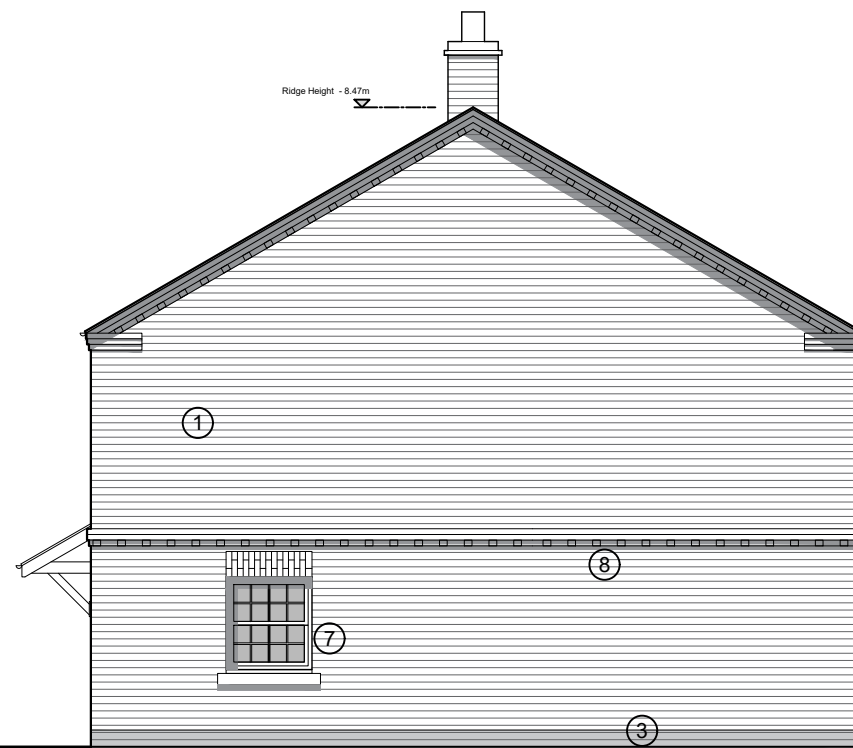
DRAWING TITLE: Unit 03 & 04 Floor Plans	
DRAWING NUMBER: 0025-110	REVISION: 06
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
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 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
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 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Front Elevation

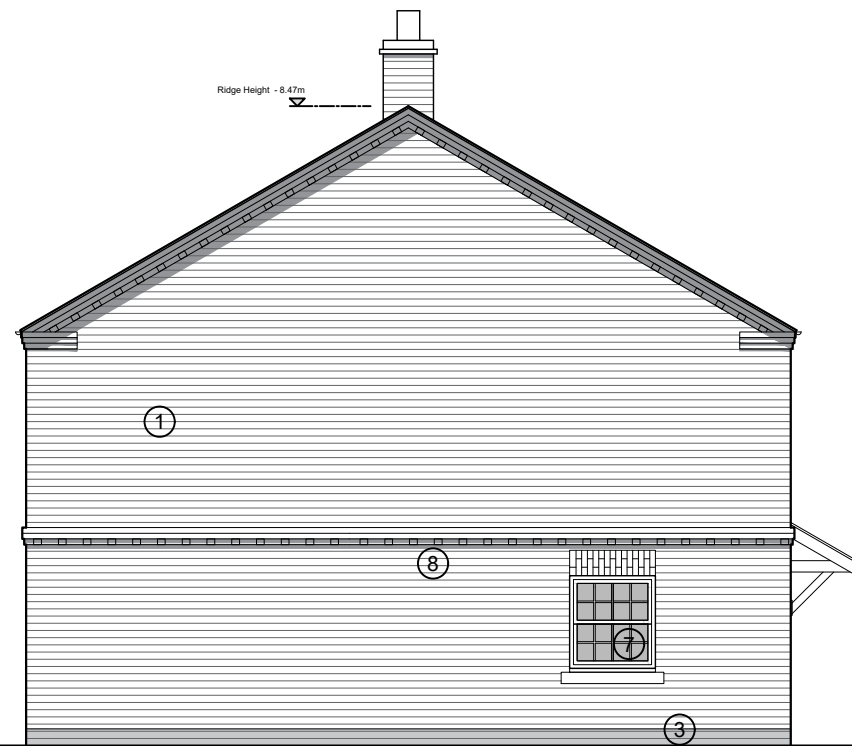


Side Elevation

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Rear Elevation

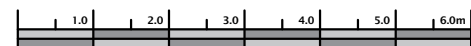


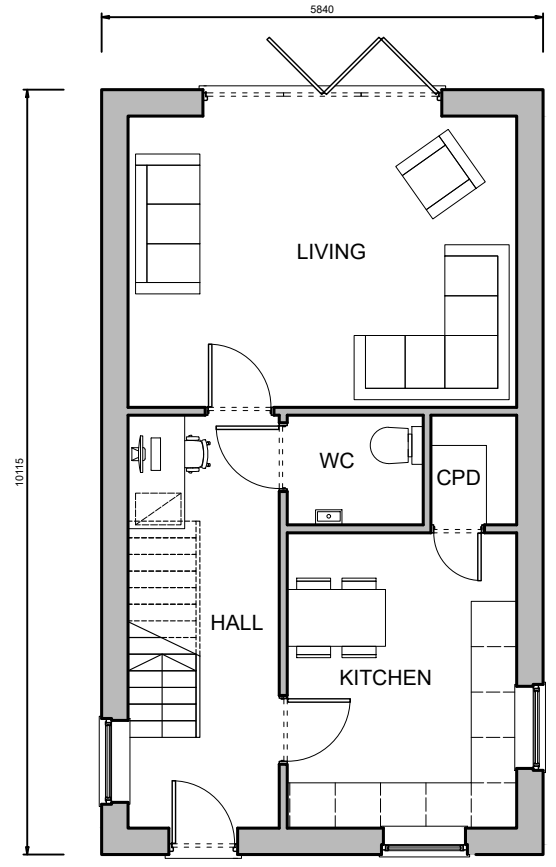
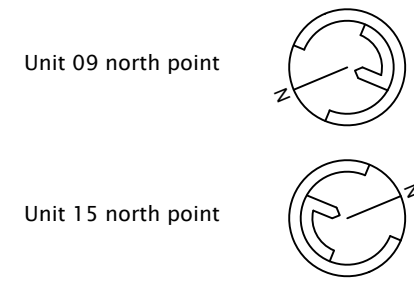
Side Elevation

REV:	DATE:	UPDATES:
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04	06.06.22	Dimensions added
03	25.04.22	Issued for planning
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00	27.01.22	Issued for information

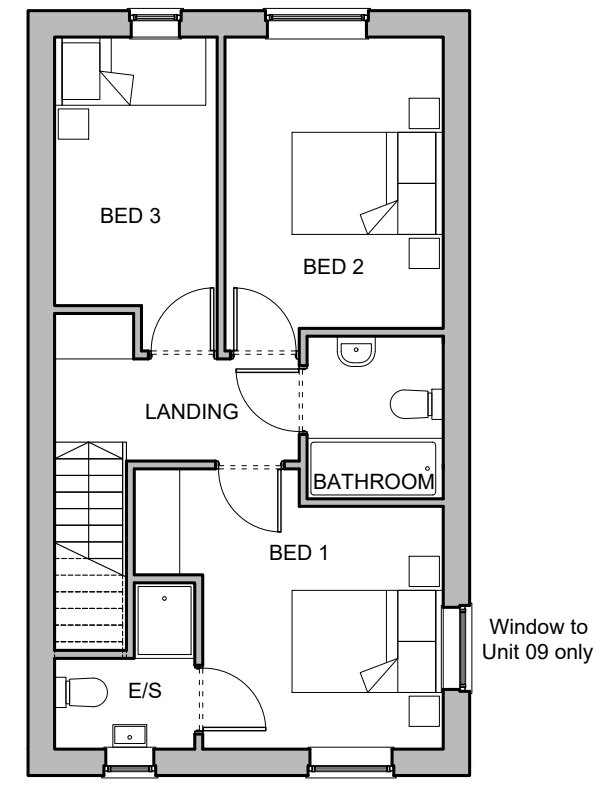
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DRAWING NUMBER: 0025-310	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

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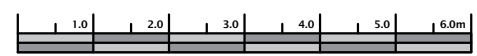
Ground Floor Plan



First Floor Plan

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

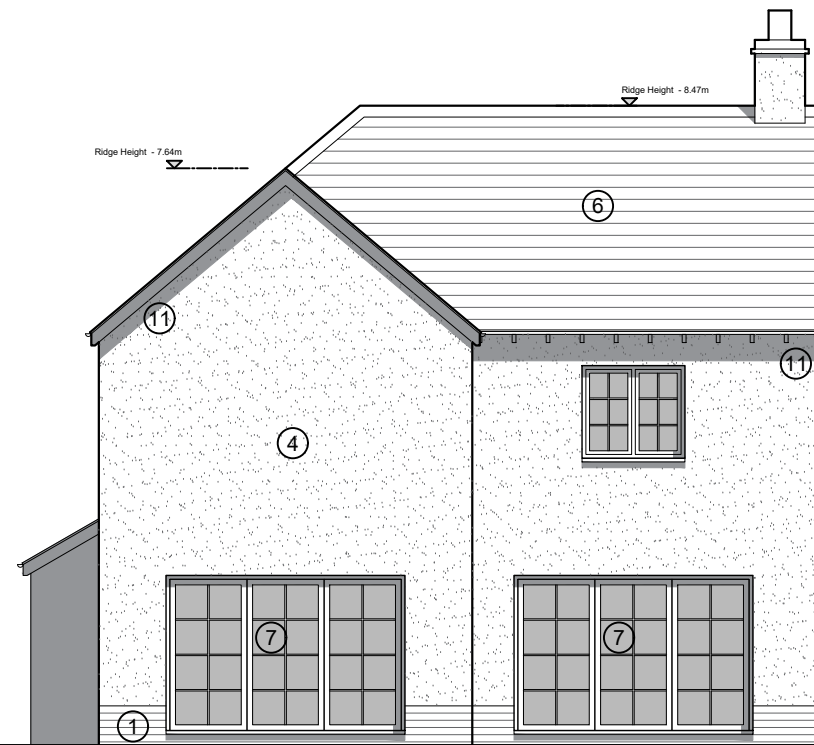
DRAWING TITLE: Units 09 & 15 Floor Plans	
DRAWING NUMBER: 0025-114	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



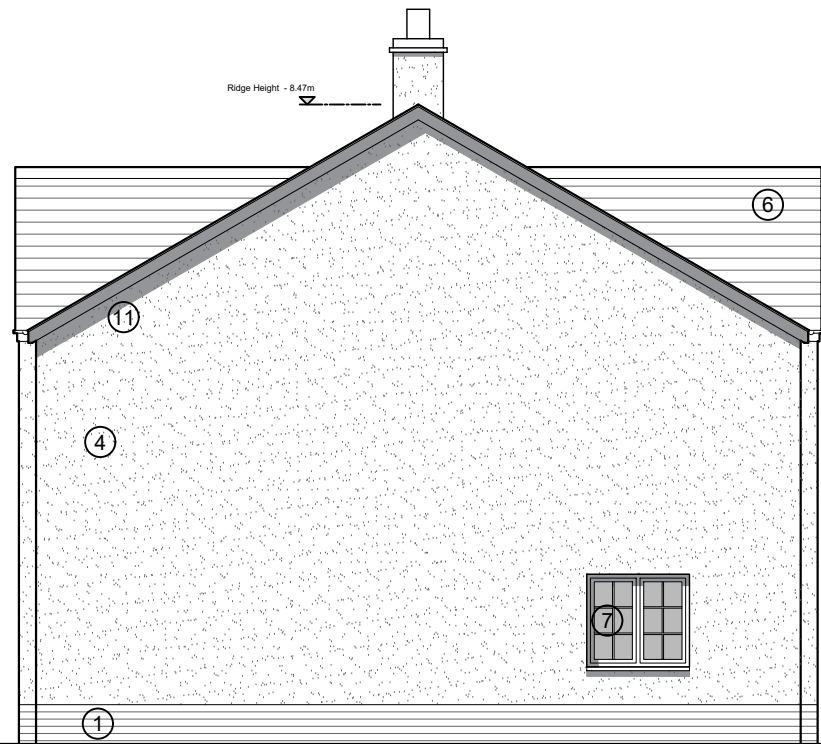
- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



Front Elevation



Side Elevation



Rear Elevation

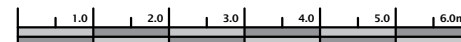


Side Elevation

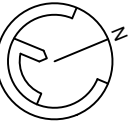
00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 05 & 06 Elevations	
DRAWING NUMBER: 0025-321	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

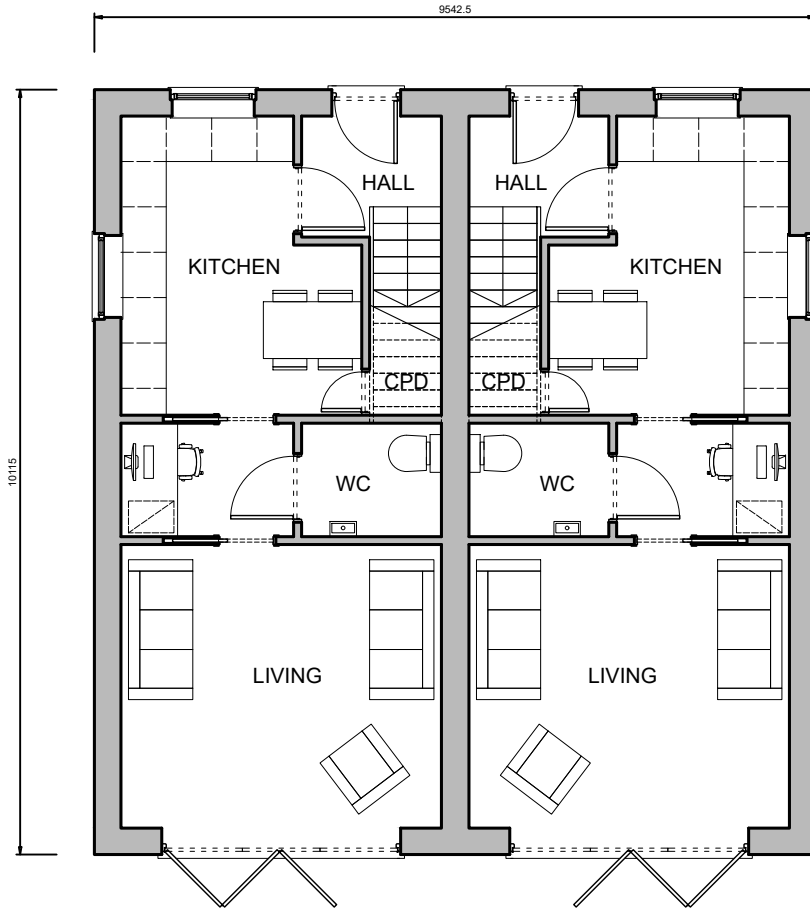
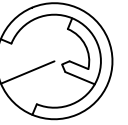
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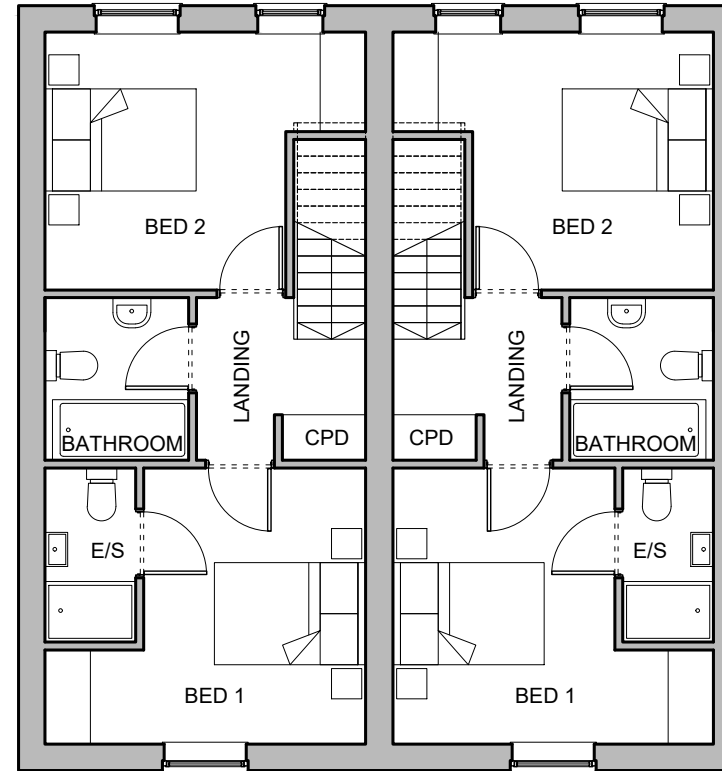
Units 07 & 08 north point



Units 13 & 14 north point



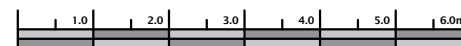
Ground Floor Plan



First Floor Plan

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 07, 08, 13 & 14 Floor Plans	
DRAWING NUMBER: 0025-113	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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- Material Key**
1. Red brick
 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill

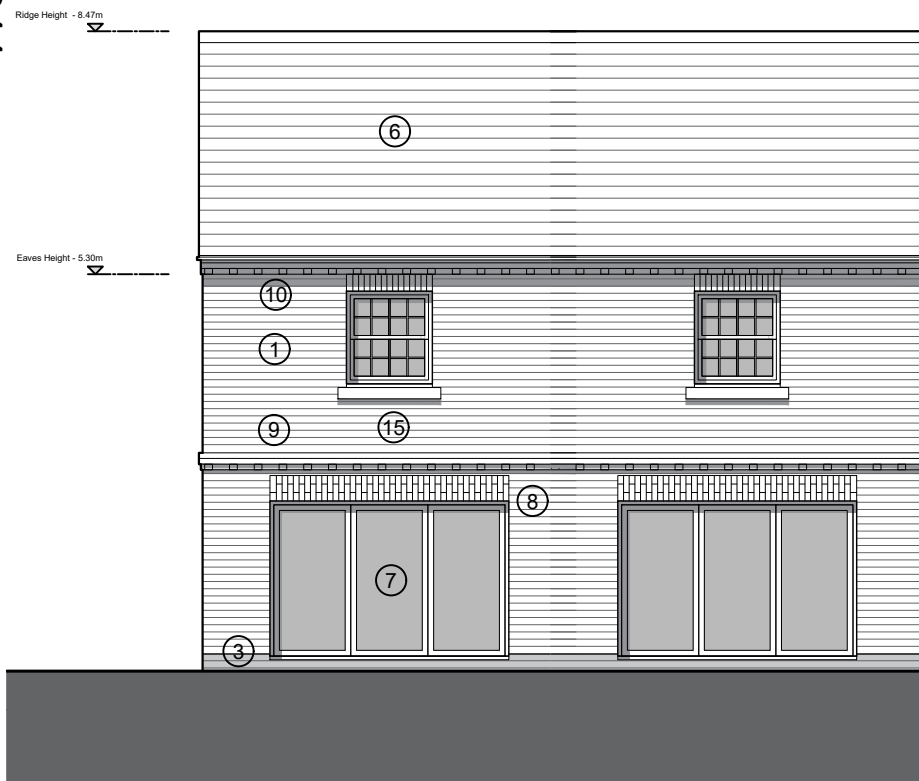


Front Elevation



Side Elevation

Page 96 of 244



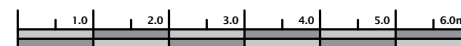
Rear Elevation



Side Elevation

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information
REV:	DATE:	UPDATES:

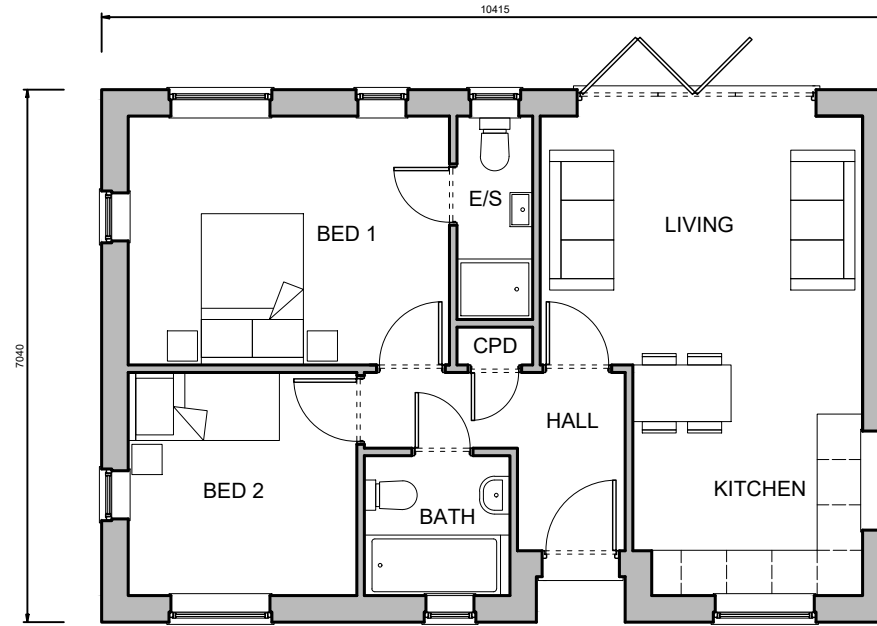
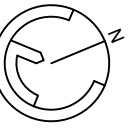
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DRAWING NUMBER: 0025-313	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
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Unit 10 north point



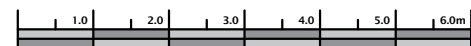
Unit 12 north point



Ground Floor Plan (Bungalow)

00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 10 & 12 Floor Plans	
DRAWING NUMBER: 0025-117	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
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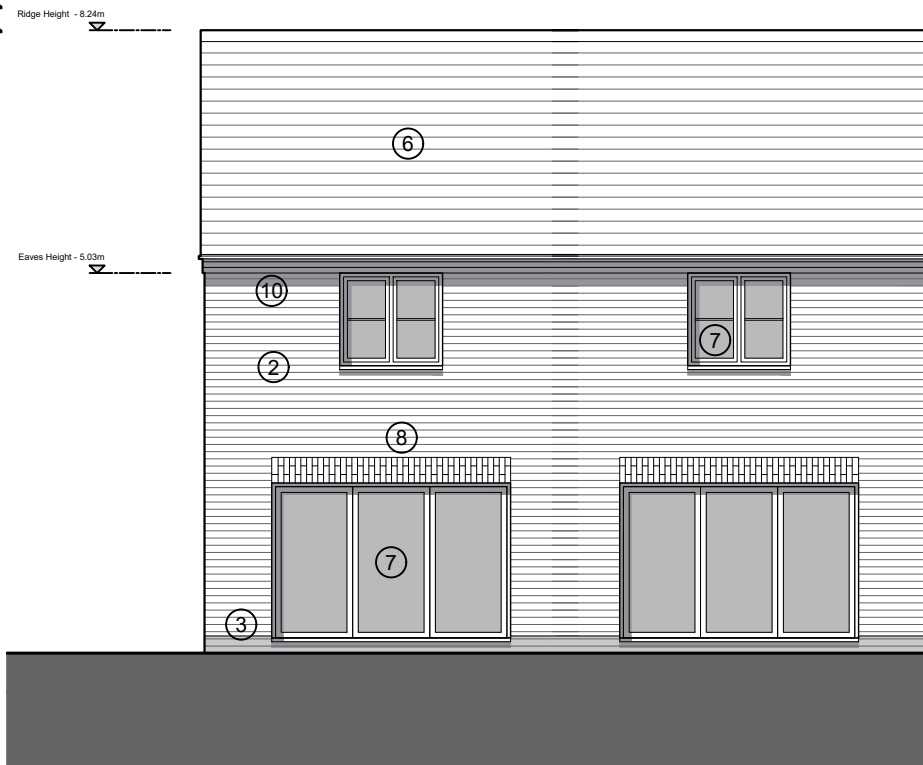
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 2. Buff brick
 3. Painted brick (Black)
 4. Render
 5. Composite front door
 6. Concrete tiles
 7. Coloured UPVC windows & doors
 8. Brick header detail
 9. Brick string course
 10. Brick eaves & verge detail
 11. Exposed rafter feet to eaves & fascia board to verge
 12. Pitched roof canopy with gallows brackets
 13. Painted timber detail to door sides with flat roof canopy
 14. Open brick porch with pitched roof
 15. Stone window sill



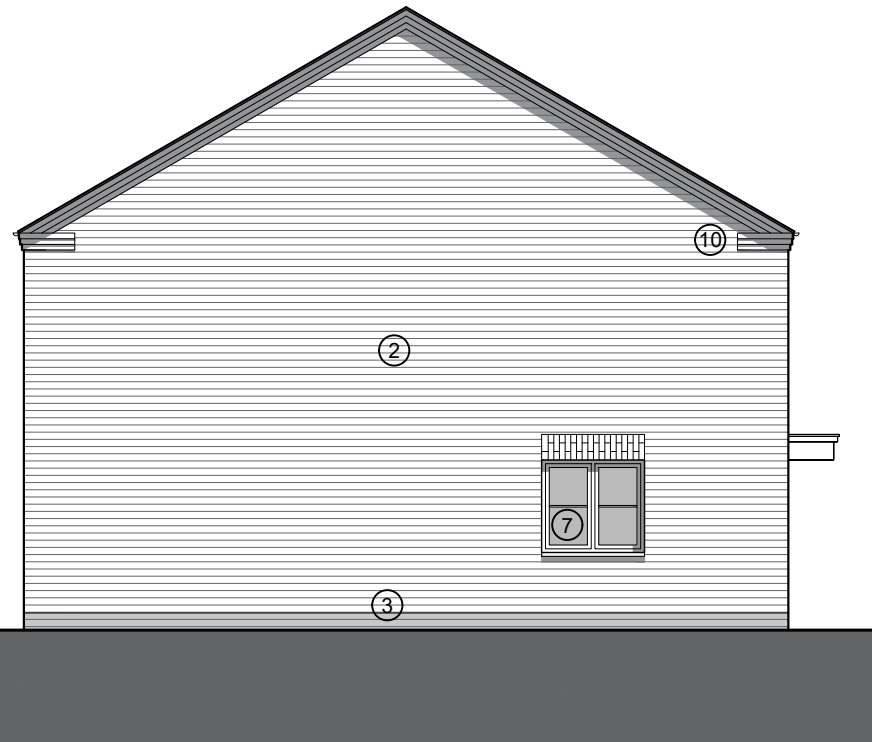
Front Elevation



Side Elevation



Rear Elevation

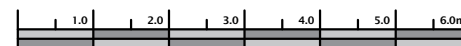


Side Elevation

00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 13 & 14 Elevations	
DRAWING NUMBER: 0025-323	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS



DEVELOPMENT MANAGEMENT COMMITTEE 20th May 2024

Case No: 23/02498/FUL

Proposal: CHANGE OF USE FROM SHOP TO DWELLING (CLASS C3).

Location: 43 HIGH STREET BRAMPTON PE28 4TG

Applicant: MR Pauline Shaw

Grid Ref: 521162 270765

Date of Registration: 16.01.2024

Parish: BRAMPTON

RECOMMENDATION - REFUSE

This application is referred to the Development Management Committee (DMC) because the Officer recommendation is contrary to the Parish Council recommendation.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The application site is located on the southern side of High Street, Brampton. The application site comprises approximately 28.8 sqm of Class E floorspace adjoined to the residential dwelling at 43 High Street, Brampton. The site was previously used as a Post Office before the Post Office relocated elsewhere in the village. More recently the site was used as a card shop, after which its commercial use ceased.
- 1.2 The application site lies within Brampton Conservation Area. A Grade II Listed Building 41 High Street is located immediately to the east, with further Grade II Listed buildings located further east. There are no other site constraints.

Proposal

- 1.3 The application seeks approval for the change of use of the former Post Office/card shop (use class E) adjoining 43 High Street to form part of existing residential property (use class C3).
- 1.4 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

1.5 The application is supported by the following documents;

- Heritage Statement
- History of the application site
- Supporting Statement
- Drawings

2. NATIONAL GUIDANCE

2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).

2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):

- delivering a sufficient supply of homes;
- building a strong, competitive economy;
- achieving well-designed, beautiful and safe places;
- conserving and enhancing the natural, built and historic environment

2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP1: Amount of Development
- LP2: Strategy for Development
- LP3: Green Infrastructure
- LP4: Contributing to Infrastructure Delivery
- LP5: Flood Risk
- LP7: Spatial Planning Areas
- LP11: Design Context
- LP12: Design Implementation
- LP14: Amenity
- LP16: Sustainable Travel
- LP17: Parking Provision and vehicle movement
- LP22: Local Services and Community Facilities
- LP34: Heritage Assets and their Settings

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document (2017):

- Developer Contributions SPD (2011)
- Huntingdonshire Landscape and Townscape Assessment (2007)
- Cambridgeshire Flood and Water SPD 2017
- Huntingdonshire Tree Guidance Note 3
- Annual Monitoring Report – Part 1 (Housing) 2019/2019 (October 2019)
- Annual Monitoring Report – Part 2 (Non- Housing) 2018/2019 (December 2019)
- RECAP CCC Waste Management Design Guide (CCC SPD) 2012

3.4 The National Design Guide (2021)

- * C1 - Understand and relate well to the site, its local and wider context
- * I1 - Respond to existing local character and identity
- * I2 - Well-designed, high quality and attractive
- * B2 - Appropriate building types and forms
- *M3 - Well-considered parking, servicing and utilities infrastructure for all users
- * H1 - Healthy, comfortable and safe internal and external environment

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 23/01467/P3JPA - Change of use from shop to dwelling with removal of signage.
- The application was refused as the application site is considered to be one planning unit of a mixed residential use (Class C3) and retail (Class E) and therefore a Sui Generis use. The site, therefore, does not benefit from Permitted Development Rights under Class MA of the Town and Country (General Permitted Development) Order 2015 (as amended). The applicant was subsequently advised to submit a FUL application.

5. CONSULTATIONS

- 5.1 Brampton Parish Council – Support.
- 5.2 Local Highway Authority – No objection. It is considered that there are no significant adverse effects upon the Public Highway as a result of the proposal.
- 5.3 Environmental Health – No objection.

6. REPRESENTATIONS

6.1 None received.

7. ASSESSMENT

7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".

7.3 In Huntingdonshire the Development Plan consists of:

- Huntingdonshire's Local Plan to 2036 (2019)
- Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)

7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

7.5 The main issues to consider as part of this application are:

- Principle of Development
- Design, Visual Amenity and impact on the surrounding area and heritage areas
- Highway Safety and Parking Provision

Principle of Development

7.6 The site is located within the built up area of Brampton which is classed as within the Huntingdon Spatial Planning Area under Policy LP7 of the Local Plan.

- 7.7 Policy LP7 states a proposal for residential development will be supported where it is appropriate located within a built-up area of an identified Spatial Planning Area Settlement.
- 7.8 The application seeks approval for the change of use of the former Post Office/Card Shop (use class sui generis) adjoining 43 High Street to form part of existing residential property (use class C3).
- 7.8 Policy LP22 (Local Service and Community Facility) is the most relevant policy here.
- 7.9 Policy LP22 states outlines how local services and community facilities include, but are not limited to, shops, public houses, places of worship, cemeteries, health centres, libraries, fuel filling stations and public halls.
- 7.10 Policy LP22 (Local Services and Community Facilities) states: Where permitted development rights do not apply a proposal which involves the loss of a local service or community facility will only be supported where:
- d. an equivalent service or community facility will be provided in a location with an equal or better level of accessibility for the community it is intended to serve; or
 - e. it demonstrates that there is no reasonable prospect of that service or facility being retained or restored because either:
 - i. there is insufficient community support for its continuation; or
 - ii. reasonable steps have been taken to effectively market the property for its current use without success.

A proposal will not be supported where the proposed loss is within a Key Service Centre and it would undermine the settlement's role in provision of services.

- 7.11 As LP22 covers a wide range of different local services and community facilities, members should note that the evidence base will vary from case to case. Each case/use should be assessed on its own merits. For example, fuel filling stations are very different from public houses, and public houses are very different from a public hall community facility.
- 7.12 It is noted that the application is supported by a Supporting Statement and confirms that the removal of the Post Office from this site was carried out without agreement from the applicant. The Post Office was relocated to another site within the village offering longer opening hours. The applicants then attempted to run a card shop from the site, but this was not financially viable.
- 7.13 The applicants have stated that the shop does not benefit from its own services; these are linked to the main residential property. The applicants consider that the shop premises are closely integrated with the main residential dwelling and therefore do not wish to rent out the space to anyone outside of their family and

therefore they have not carried out any marketing of the premises for the continued use as a commercial unit, as would be required under criterion (e.) of LP22. In addition, it is noted that there are several other units within the village that sell cards and stationery and therefore there is no loss of amenity.

- 7.14 Officers note the arguments put forward by the applicant and will respond to the points made.
- 7.15 Firstly, officers do not consider the proposal complies with Policy LP22 part d). Whilst the site originally operated as a Post Office, it more recently operated as a card shop. The applicant acknowledges this. Therefore, the argument that the post office has been replaced with an equivalent service and that the proposal complies with Policy LP22 part d) is not valid. This is because Officers have to consider the current (most recent) use that is being lost, which is use class E. Despite there being provision within the village of other card shops, this unit has not been replaced and therefore there has been a loss of service.
- 7.16 So the loss of the local service must therefore be assessed against Policy LP22 part e).
- 7.17 When considering Policy LP22, it is a matter of judgement for Officers on whether part e) i) (insufficient community support for its continuation) or part e) ii) (marketing) is the most appropriate route to determine whether there is no reasonable prospect of that service or facility being retained or restored.
- 7.18 Local Plan Policy LP22 supporting text paragraph 6.49 outlines the following: *Assessing the level of community support for a local service or facility is a matter of judgement, but could be informed by information such as evidence of the level of recent usage, as well as the number and nature of comments made on an application by members of the local community. For commercially run facilities such as local shops and pubs, the Council considers that a robust marketing exercise is the most transparent way of demonstrating that such facilities are no longer viable. This should be of sufficient duration to allow the local community time to consider making a bid to run or acquire premises of value through the Community Right to Bid. In seeking to justify the loss of local services or community facilities, applicants will also be required to consider whether existing premises or sites can be adapted to retain a viable community facility or service. Effective marketing will in most cases need to be for a continuous period of 12 months at a value reflecting its permitted use with details kept of any offers received and detailed reasoning for declining them. However, in particular circumstances it may be appropriate for alternative arrangements to establish if there is any realistic prospect of maintaining the service or facility.*

- 7.19 To expand on the above, Policy LP22 covers a wide range of different local services and community facilities, members should note that the evidence base will vary from case to case. Each case/use should be assessed on its own merits. For example, commercial units are very different from public houses, and public houses are very different from a public hall community facility. There is a difference between how a service and a facility operates. A lot of community facilities such as a public hall operate with a booking system. Customers would book the facility ahead of time as such places don't allow people to just turn up to use the facilities. In such a case, you would be able to quantify a demand for a facility and establish if there is insufficient community support for its continuation due to the number of bookings over a time period.
- 7.20 The supporting text for LP22 is clear that for 'commercially run facilities such as local shops and pubs, the Council considers that a robust marketing exercise is the most transparent way of demonstrating that such facilities are no longer viable'. Given that the application in question is for a commercial unit (use class E), the most appropriate route to determine whether there is no reasonable prospect of that service or facility being retained or restored would be through effective marketing of the property for its current use which would be Policy LP22 part e) ii).
- 7.21 In this instance, the applicant has not marketed the unit, as they consider that the space is integral to their residential property and do not want it to be let on a commercial basis. They would like the space to be integrated back into the residential dwelling as it was intended to be when first built.
- 7.22 The proposal has failed to demonstrate that the site has been effectively and robustly marketed for its current use without success to demonstrate that there is no reasonable prospect of that service or facility being retained or restored. Subsequently, the application has also failed to demonstrate that the loss of the commercial site will not undermine the settlement's role in provision of services. The proposal is therefore contrary to policy LP22 part e) ii) of the Huntingdonshire Local Plan to 2036.

Design, Visual Amenity and impact on the surrounding area and Heritage Assets

- 7.23 The application site lies within Brampton Conservation Area.
- 7.24 A Grade II Listed Building 41 High Street is located immediately to the east of the property, with further Grade II Listed properties located further to the north-east. There are no other site constraints.

- 7.25 Section 72 of the Planning (LBCA) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.
- 7.26 Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 7.27 Para. 205 of the NPPF set out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'. Para. 206 states that 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification...'. Para. 208 goes on to state that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including securing its optimum viable use.
- 7.28 Local Plan Policy LP34 aligns with the statutory provisions and NPPF advice.
- 7.29 Policy LP11 of the Local Plan states that proposals will be supported where it is demonstrated that they positively respond to their context and draw inspiration from the key characteristics of their surroundings, including the natural, historic and built environment.
- 7.30 Policy LP12 of the Local Plan states that proposals will be supported where they contribute positively to the area's character and identity and where they successfully integrate with adjoining buildings, topography and landscape.
- 7.31 It is noted that all signage for the shop premises has already been removed. The application does not involve any external changes, with the retention of the additional front door. Officers have given special attention to the desirability of preserving or enhancing the character or appearance of the Conservation Area and the setting of Listed Buildings within close proximity to the dwelling. The property has the visual appearance of a private residential dwelling. Officers consider the proposal will preserve or enhance the character and appearance of the Brampton Conservation Area and will not adversely impact the setting of the nearby listed assets. The proposed development is in accordance with Policies LP11, LP12 and LP34 of the adopted Huntingdonshire Local Plan

to 2036, Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, the Huntingdonshire Design Guide SPD and Sections 12 and 16 of the National Planning Policy Framework.

Highway Safety and Parking Provision

- 7.32 Policy LP16 (Sustainable Travel) aims to promote sustainable travel modes and supports development where it provides safe physical access from the public highway. Policy LP17 (Parking Provision and Vehicle Movement) states a proposal will be supported where it incorporates appropriate space for vehicle movements, facilitates accessibility for service and emergency vehicles and incorporates adequate parking for vehicles and cycles.
- 7.33 The proposed change of use would result in the site operating as one planning unit. The Highway Authority has been consulted and raises no objection. The existing dwelling has off-street car parking. Officers therefore consider the proposal would not have an adverse impact upon highway safety and would have appropriate car parking provision in accordance with Policies LP16 and LP17 of the of the Huntingdonshire Local Plan to 2036.

Residential Amenity

Amenity of neighbouring properties

- 7.34 Policy LP14 states that a proposal will be supported where a high standard of amenity is maintained for all occupiers of neighbouring land and buildings.
- 7.35 As the proposal is to change the use of the commercial unit to form part of the existing residential property at 43 High Street, the proposal would not have any adverse neighbour amenity impacts in terms of noise. The proposal is therefore considered to accord with Policy LP14 of the Local Plan in respect of its impact upon neighbouring properties.

Conclusion

- 7.36 The proposal is for a change of use of the former Post Office/card shop (use class E) adjoining 43 High Street to form part of existing residential property (use class C3).
- 7.37 Policy LP22 states that a proposal that includes a loss of a local service or community facility needs to demonstrate that there is no reasonable prospect of that service or facility being retained or restored through effective and robust marketing for its current use without success. The application has failed to demonstrate this.

7.38 Having regard to all relevant material considerations, it is concluded that the proposal would not accord with local and national planning policy. Therefore, it is recommended that planning permission be refused.

8. RECOMMENDATION – REFUSE for the following reason:

1. The proposal has failed to demonstrate that the site has been effectively and robustly marketed for its current use without success to demonstrate that there is no reasonable prospect of that service or facility being retained or restored. Subsequently, the application has also failed to demonstrate that the loss of the commercial site will not undermine the settlement's role in provision of services. The proposal is therefore contrary to policy LP22 part e) ii) of the Huntingdonshire Local Plan to 2036.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388424 and we will try to accommodate your needs

CONTACT OFFICER:

Enquiries about this report to **Olivia Manton Development Management Officer** – olivia.manton@huntingdonshire.gov.uk

Pathfinder House, St Mary's Street
Huntingdon. PE29 3TN
Developmentcontrol@huntingdonshire.gov.uk

01480 388424
www.huntingdonshire.gov.uk

Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE 29 3TN

Application Number: 23/02498/FUL Case Officer Olivia Manton
Proposal: Change of use from shop to dwelling (Class C3).
Location: Shop43 High StreetBrampton
Observations of Brampton Town/Parish Council.

Please ✓ box as appropriate

Recommend **approval** because(please give relevant planning reasons in space below)
Approved

Recommend **refusal** because...(please give relevant planning reasons in space below)

No observations either in favour or against the proposal

Ms Tess Rogers Clerk to Brampton Town/Parish Council. (For GDPR purposes please do not sign)

Date :

Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

Please send response to email address below:-

Development.control@huntingdonshire.gov.uk

(Development Management)

Development Management Committee



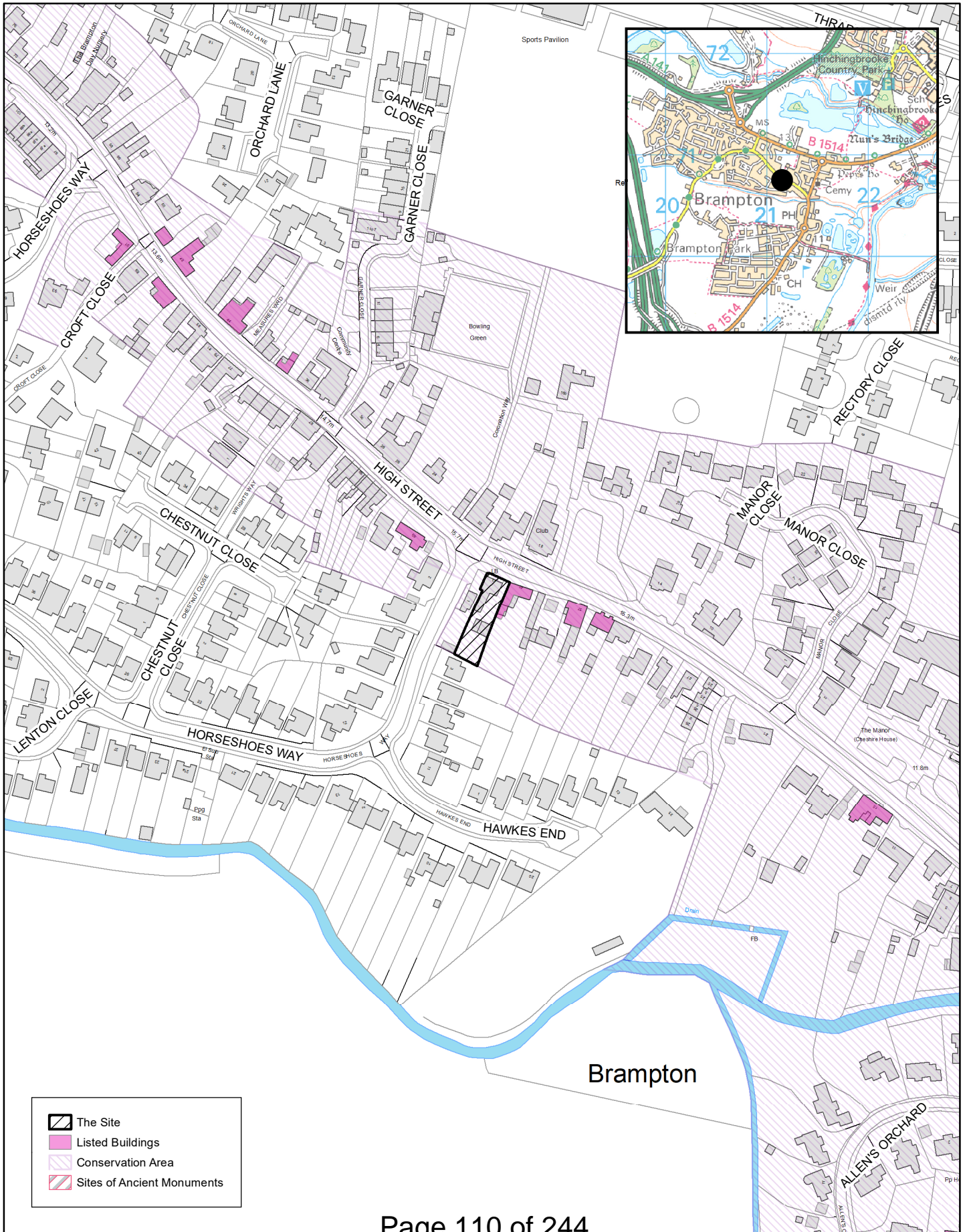
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Application Ref: 23/02498/FUL

Date Created: 07/05/2024

Location: Brampton

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Ordnance Survey HDC 100022322



- The Site
- Listed Buildings
- Conservation Area
- Sites of Ancient Monuments

Location Plan

Site Address: **Brampton Post Office, Shop, 43, High Street, Brampton, PE28 4TG**

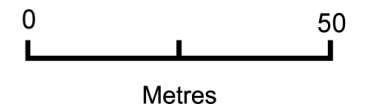
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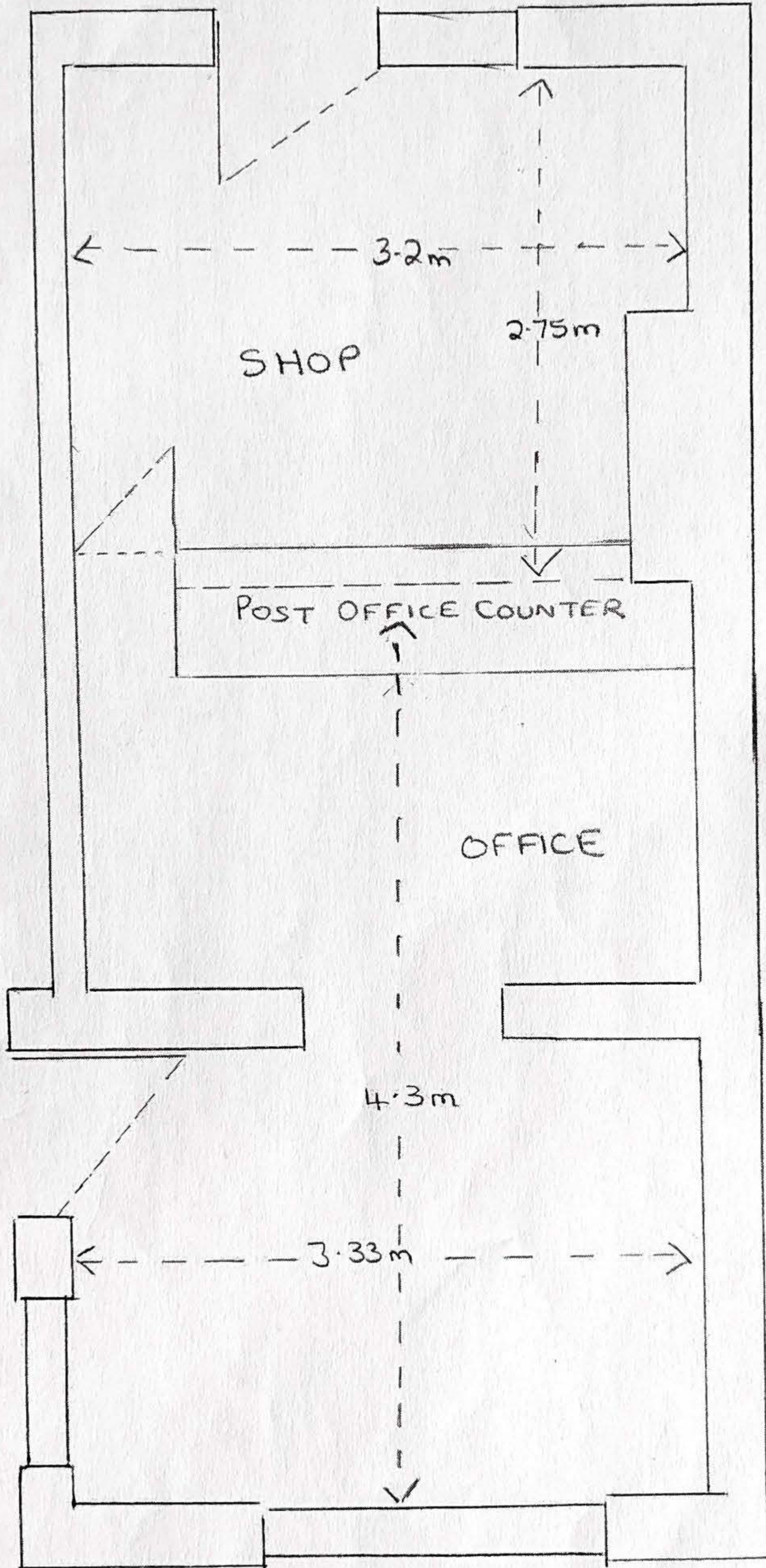


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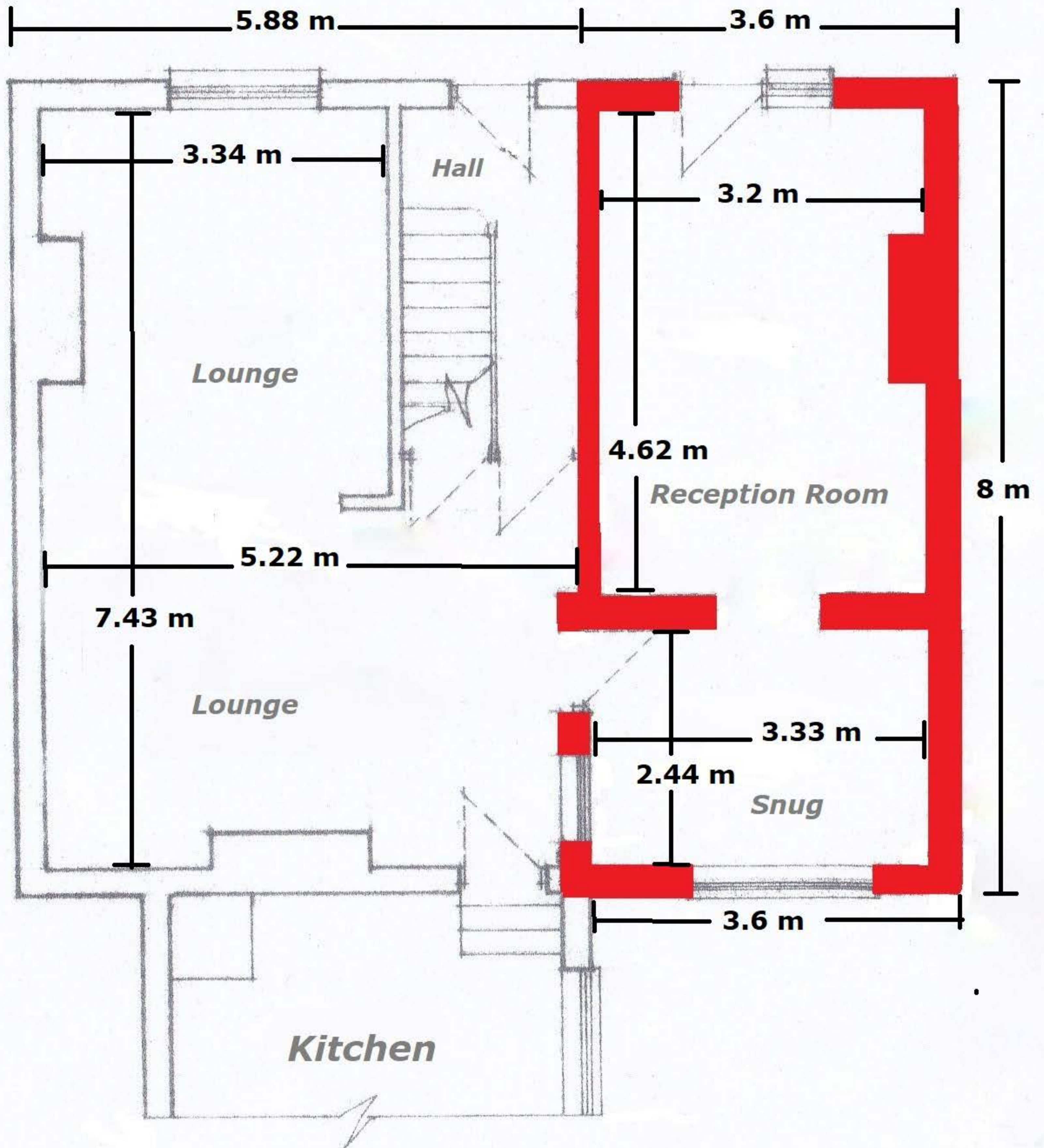


Prior Approval Shop to Dwelling
Shop 43 High Street, Brampton, Huntingdon, PE28 4TG
Ref:23/01467/P3JPA

Shop area
8.8 sq m



Office area
14.32 sq m



Prior Approval Shop to Dwelling
Shop 43 High Street, Brampton, Huntingdon, PE28 4TG
Ref:23/01467/P3JPA



41 and 43 High Street Brampton in 1936 1964 2016



1936

43 High Street
was a private dwelling



1964

43 High Street
was a private dwelling
with a Post Office

Post Office, High Street, Brampton - 1964



2016

43 High Street
was a private dwelling
with a Post Office

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DEVELOPMENT MANAGEMENT COMMITTEE 20th May 2024

Case No: 24/00075/FUL

Proposal: Siting of a mobile home as defined by the Caravan Act without concrete foundations

Location: WHITES PADDOCK, PITSDEAN ROAD, ABBOTSLEY

Applicant: Mr Simon Jefferies

Grid Ref: 522591 256420

Date of Registration: 21.02.2024

Parish: ABBOTSLEY

RECOMMENDATION – REFUSAL

This application is referred to the Development Management Committee (DMC), in accordance with the current Scheme of Delegation as the officer recommendation is contrary to that of the Parish Council.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The application site is a triangular parcel of land, approximately 130 metres in length, 75 metres in depth (at its greatest point) tapering to approximately 17 metres. The site is situated adjacent to Pitsdean Road which forms the eastly extent of the site. Separated by Pitsdean Road are 4 residential dwellings of 45 Blacksmiths Lane and 2, 4 and 8 Pitsdean Road. There are two residential dwellings to the north, of 21 Pitsdean Road and 14 Hardwicke Lane and to the south, Manor Farm, currently operating as a Care home (Class C2). To the southeast of the site and south of 8 Pitsdean Road lie open fields towards Waresley. To the West of the site open fields into the countryside towards Abbotsley Downs.
- 1.2 The site sits within Abbotsley Conservation Area, and the closest listed building sits approximately 40 metres to the most north eastly point of the application area. The site is in flood zone 1.
- 1.3 The site currently grassland, is sectioned off into smaller parcels by post and rail fencing which has created an informal access from Pitsdean Road sited opposite number 4. The application states that the parcel of land is approximately 0.60 hectares.

- 1.4 The site slopes downwards away from Pitsdean Road from east to west and north to south, with a drainage ditch running parallel to Pitsdean Road to the West of the site. After this ditch the adjacent fields start to rise to the west into Abbotsley Downs.

Proposal

- 1.5 This is a full application for the siting of a mobile home as defined by the caravan act without concrete foundations. The application describes the mobile home as 2 to 3 bedrooms and includes a garden shed, vehicle access, permeable driveway/ hardstanding, charging points for electric vehicles, a ground source heat pump, Klargester sewage treatment plant, rainwater harvesting tank, and ground screw foundations.
- 1.6 The proposed mobile home is sited centrally within the parcel of land when viewed from Pitsdean Road and set back approximately 14 – 17 metres from the edge of the highway. An indicative image has been included within the application that indicates the structure will be constructed with an external finish of timber like appearance of single storey. However, no formal details of materials are included with the application. The widest elevation of approximately 19.62 metres will sit parallel to Pitsdean Road and the depth of the mobile unit is proposed at approximately 6.42 metres. The proposed height to the eaves is approximately 2.6 metres and 3.6 metres to the apex of the shallow pitched roof. The ground floor plan for the mobile home shows the proposal will contain three bedrooms, an ensuite, a bathroom, a kitchen/ diner, a utility, a living room, and entrance hallway. The ground floor includes a small area of decking to serve the entrance doorway fronting Pitsdean Road.
- 1.7 The front (east) elevation shows three square windows, one entrance doorway and one set of french doors, the north elevation shows two sets of bi fold doors, the west elevation one set of french doors and an access door to the utility. There are no openings proposed to the south elevation.
- 1.8 The proposed shed on site is detailed to provide storage for the occupant's bicycles and maintenance tools and will replicate the design and materials of the mobile home. The shed is proposed at 4.96 metres in length and 2.38 metres in depth. No details regarding height or materials have been included within the application.
- 1.9 The proposed vehicular access is shown on the plans as directly opposite the south entrance to Blacksmiths Lane consisting of hardstanding material not detailed within the application other than permeable. The proposed access will sit perpendicular to Pitsdean Road and extend approximately halfway across the plot, 10 metres from the edge of the highway to beyond the rear

elevation of the proposed mobile home. The access road will be approximately 5.2 metres in width.

- 1.10 The cross over point of the access will be 4.65 metres from the edge of the highway to the metalled road surface extending from 5.2 metres in width to 7.95 metres at the edge of the metalled road surface. The application details that the access can achieve a 43 metres vision splay to the north and south.
- 1.11 The accompanying plans and planning and heritage statement detail the development will be constructed to the “highest standards of sustainable construction as well as incorporating renewable techniques and the use of modern technology for remote monitoring”.
- 1.12 The applicant has provided information for the site which he considers details historic use of the site as residential. The mobile home would be sited to the west of the footprint of those detailed historic dwellings.
- 1.13 The application form states that the proposal includes the gain, loss or change of use of residential units but refers to the site as redundant grass paddock.
- 1.14 The site has significant recent history of refused applications and subsequent dismissed appeals for the erection of a two-storey single dwellinghouse. The most recent application was made in 2021 which was refused by members at the December 2021 development management committee.
- 1.15 This application has been accompanied by the following:
 - Planning and Heritage Statement and
 - Plans
- 1.16 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area including reviews of historically held records.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives - economic, social, and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
 - delivering a sufficient supply of homes;

- building a strong, competitive economy;
- achieving well-designed, beautiful, and safe places;
- conserving and enhancing the natural, built, and historic environment.

2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and are material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP4: Contributing to Infrastructure Delivery
- LP5: Flood Risk
- LP6: Wastewater Management
- LP9: Small Settlements
- LP10: The Countryside
- LP11: Design Context
- LP12: Design Implementation
- LP14: Amenity
- LP15: Surface Water
- LP16: Sustainable Travel
- LP17: Parking Provision and Vehicle Movement
- LP20: Homes for Rural Workers
- LP28: Rural Exceptions Housing
- LP30: Biodiversity and Geodiversity
- LP31: Trees, Woodland, Hedges and Hedgerows
- LP33: Rural Buildings
- LP34: Heritage Assets and their Settings

3.2 Supplementary Planning Documents/ Guidance

- Huntingdonshire Design Guide SPD (2017)
- Developer Contributions SPD (2011)
- Huntingdonshire Landscape and Townscape Assessment (2007)
- Cambridgeshire Flood and Water SPD 2017
- Huntingdonshire Tree Guidance Note 3
- Annual Monitoring Review regarding housing land supply.

Local For full details visit the government website Local policies

4. PLANNING HISTORY

4.1 21/01150/FUL - Erection of a three bedroom fully sustainable family home together with an outbuilding for livestock and store – REFUSED – 24.12.2021

Application 21/01150/FUL included the same red line boundary as this application currently under determination and proposed the erection of a 3-bedroom detached dwelling with outbuilding for livestock.

This application was refused for the following reasons.

- 1) *The site relates more to the countryside;*
- 2) *The proposed development fails to preserve or enhance the character and appearance of Abbotsley conservation area.*

- 4.2 19/00028/REFUSL – Appeal of 19/00129/FUL - Erection of a detached dwelling with outbuildings and a new access – DISMISSED – 29.01.2020

This appeal was dismissed for the following reasons.

- 1) *Conflicts with development strategy and was not considered in the built-up area; and*
- 2) *The development would cause harm to the character and appearance of Abbotsley conservation area.*

- 4.3 19/00129/FUL – Erection of a detached dwelling with outbuildings and a new access – REFUSED - 21.03.2019

Application 19/00129/FUL included the northern part of the red line plan of this application currently under determination and proposed the erection of a 4-bedroom detached dwelling with outbuildings including a detached double garage and store, and new access.

This application was refused for the following reasons.

- 1) *The site sits outside the built-up area and relates more to the countryside;*
- 2) *The proposed development was considered harmful to the rural character and appearance of the site and countryside and Abbotsley Conservation Area;*

- 4.4 18/01419/FUL – Erection of a self-build detached dwelling with garages and associated works and change of use to garden-REFUSED - 10.09.2018

Application 18/01419/FUL included the northeastern part of the red line plan of this application currently under determination and proposed the erection of a 4-bedroom detached dwelling with outbuildings including a detached double garage and store, and new access.

This application was refused for the following reasons.

- 1) *The site sits outside the built-up area and relates more to the countryside;*
- 2) *The proposed development was considered harmful to the rural character and appearance of the site and countryside and Abbotsley Conservation Area;*

- 4.5 17/00030/REFUSL – Appeal of 17/00194/FUL - Erection of a detached dwelling and garages – DISMISSED – 18.01.2018

This appeal was dismissed for the following reasons.

1) Inappropriate location for the development within the countryside; and

2) harm to the designated heritage asset where benefit to the public to outweigh the harm could not be identified.

- 4.6 17/00194/FUL – Erection of a detached dwelling and garages – REFUSED – 05.04.2017

Application 17/00194/FUL included the northeastern part of the red line plan of this application currently under determination and proposed the erection of a 4-bedroom detached dwelling with outbuildings including a detached double garage and store, and new access.

This application was refused for the following reasons.

1) The site sits outside the built-up area and relates more to the countryside;

2) The proposed development was considered harmful to the rural character and appearance of the site and countryside and Abbotsley Conservation Area;

5. CONSULTATIONS

- 5.1 Abbotsley Parish Council – Recommend APPROVAL but provided a letter that two council members were not able to attend. Out of the five members able to attend 4 councillors supported the approval of the application and 1 councillor recommended approval. The letter detailed the reasons for approval ‘Recommend Approval as considered that residential development surrounds the site on three sides, property was on the site in the past, the proposal would have minimal impact and this application is for one mobile home only’.
- 5.2 Huntingdonshire District Council Conservation Team recommend REFUSAL in line with the contents of paras 195 - 214 of the NPPF (December 2023), the public benefits of this proposal do not justify the less than substantial harm arising from the siting of a mobile home and associated development on this site.
- 5.3 Cambridgeshire County Council Local Highway Authority – Recommend APPROVAL subject to conditions relating to gates, cross over construction, sufficient space on site for a vehicle to turn and leave in forward gear, provision of visibility splays and constructed with adequate drainage.

6. REPRESENTATIONS

- 6.1 Councillor West (No longer an acting District Councillor) has made comments to support the application summarised below;
- Applicant may become homeless and;
 - with the pressure on providing homes for those in need as defined by the Caravan Act permission could be granted
- 6.2 Six comments have been received in support of the application as follows;
- An excellent way to support small local family businesses and local tradesmen
 - Green and sustainable property
 - Sit in the landscape well and is considerate to the environment and setting
 - Protect the plot from wider plot from over development
 - Designated Conservation Area is out of date and should not be considered
 - Surrounded by houses on three sides
 - Land not in the open countryside with residential development on 4 sides
 - Fits well into the vernacular of the village
 - Seeks to make a biodiversity net gain in the planting of trees
 - Agree with the parish comments.
- 6.3 One comment has been received in objection of the application as follows;
- No public benefit and loss of amenity
 - Obstruction to views into the open countryside
 - Green not brownfield site
 - Not hemmed in by development but a wide and open plot
 - Concerns regarding further development of the site
 - Inappropriate building for the site

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".

- 7.3 In Huntingdonshire the Development Plan (relevant to this application) consists of:
- Huntingdonshire’s Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term ‘material considerations’ has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.5 The main matters for consideration are:
- The Principle of Development
 - Design, Visual Amenity, and the impact upon the Character of the Area
 - Impact on Heritage Assets
 - Impact upon Residential Amenity
 - Highways Safety, Parking Provision and Access
 - Biodiversity
 - Trees
 - Flood Risk
 - Accessible and Adaptable Homes
 - Water Efficiency
 - Other issues

Principle of Development

- 7.6 The application is seeking planning permission for the ‘Siting of a mobile home as defined by the Caravan Act without concrete foundations’.
- 7.7 There are two main parts of the proposal to consider when assessing the principle of development:
- Whether the proposed use of the land as residential amounts to a material change of use and;
 - Whether the mobile home falls under the definition of a caravan as classed by the Caravan Sites and Control of Development Act 1960 (as amended).

Use of the land

- 7.8 The applicant has detailed within paragraphs 2.7 and 3.13 of the planning and heritage statement that the site used to have two

residential properties “that appear to have been demolished in the early 1940’s”.

- 7.9 The applicant is therefore claiming that the site benefits from a residential use.
- 7.10 The Inspector at appeal reference APP/H0520/W/19/3236346 and LPA reference 19/00129/FUL (in assessing previous schemes) considered the issue regarding the two residential properties that were demolished and the use of the land, and noted that as the previous buildings on site appeared to have been demolished around 1940, it did not create any precedent for the appeal scheme and any remains of the previous structures have long since blended into the landscape.
- 7.11 Therefore it is the view of officers that the residential use of the site has clearly lapsed and was long abandoned given those properties were demolished around 1940.
- 7.12 Officers also note that the application form states that the proposal includes the gain, loss or change of use of residential units but refers to the site as redundant grass paddock. Based on a site visit by the case officer, the site is clearly a redundant grass paddock which aligns with paragraph 2.3 of the submitted Planning and Heritage Statement.
- 7.13 Therefore, based on the above and the planning history of the site, it is the view of officers that the proposed use of the land as residential amounts to a material change of use of the land as defined by Section 55 of the Town and Country Planning Act.
- 7.14 The proposed use of the land as residential must therefore be assessed against the relevant policies.
- 7.15 Local Plan Policy LP2 states that the development strategy for Huntingdonshire is to concentrate development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities.
- 7.16 Abbotsley village is defined as a small settlement within LP9 of Huntingdonshires Local Plan to 2036. Policy LP 9 relates to Small Settlements and sets out that development proposals within the built-up area of a small settlement will be supported where the location of development proposed is sustainable in relation to:
- a. Level of service and infrastructure provision within the settlement.
 - b. Opportunities for users of the proposed development to access everyday services and facilities by sustainable modes of travel including walking, cycling and public transport;

- c. Effect on the character of the immediate locality and settlement as a whole.

The policy goes on to state that proposals on land well related to the built-up area may be supported where it accords with the specific opportunities allowed for through other policies of this plan.

- 7.17 The site is located between Manor farm and 21 Pitsdean Road and 14 Hardwicke Lane and the applicant claims within the planning and heritage statement under paragraph 2.9 that “the site comprises an undeveloped ‘infill’ plot in an existing built frontage”.
- 7.18 In determining a built-up area the local plan provides the following definition on page 53: *“A built-up area is considered to be a distinct group of buildings that includes 30 or more homes. Land which relates more to the group of buildings rather than to the surrounding countryside is also considered to form part of the built-up area.”*
- 7.19 On pages 53-55 of the Local Plan a table is set out providing guidance on frequently arising situations. With regards to this application site, it is considered that the following interpretation is relevant *“The built-up area will exclude isolated properties or areas of ribbon and fragmented development which are physically and visually detached from the main built form.”*
- 7.20 In this instance Manor farm is not considered to form the built-up area of the small settlement of Abbotsley village as it forms an isolated property both physically and visually detached from the main built form of the edge of the village.
- 7.21 As a result the application site is not considered to constitute an infill development. The site sits beyond the edge of the built form of Abbotsley village where there is a clear contrast between buildings and the commencement of open countryside.
- 7.22 On the above matter relating to the application sites relationship with adjacent buildings or the countryside, the inspector within the appeal decision for application 19/00129/FUL considered that the site related to the countryside rather than the adjacent buildings of Manor Farm, 21 High Green, 14 Hardwicke Lane and no’s 4 to 6 Pitsdean Road.
- 7.23 Therefore, the application site is considered not to form part of the small settlement of Abbotsley and therefore unable to gain support from LP9. The site is considered to lie within the countryside and relevant to the application of Policy LP10 (The Countryside) of Huntingdonshire’s Local Plan as set out further below.

7.24 Policy LP 10 relates to the countryside and states that development will be restricted to the limited and specific opportunities as provided for in other policies of this plan.

All development in the countryside must:

- a. seek to use land of lower agricultural value in preference to land of higher agricultural value:
 - i. avoiding the irreversible loss of best and most versatile land (grade 1 to 3a) where possible; and
 - ii. avoiding grade 1 agricultural land unless there are exceptional circumstances where the benefits of the proposal significantly outweigh the loss of land;
- b. recognise the intrinsic character and beauty of the countryside; and
- c. not give rise to noise, odour, obtrusive light, or other impacts that would adversely affect the use and enjoyment of the countryside by others.

7.25 Policy LP 10 states that development will be restricted to the limited and specific opportunities as provided for within the other policies within the local plan. LP 20 which supports homes for rural workers subject to criteria; LP 28 which supports rural exceptions housing subject to criteria and policy LP 33 which enables replacement buildings in the countryside are considered are capable of providing those limited and specific opportunities for this application to be assessed under.

7.26 LP20 states that a proposal for a rural worker in the countryside will be supported.

- a. it is for a worker who is or will be mainly employed for the purposes of the proper functioning of an economically viable agricultural or other land-based rural business;
- b. no suitable alternative accommodation is available or could be made available in the immediate vicinity or nearest settlement, taking into account the requirements of the work;
- c. opportunities to convert an existing building or, where this is not possible, to replace an existing building have been explored and proved to be unachievable; and
- d. the home is of permanent and substantial construction, unless the rural business has been established for less than three years in which case accommodation will only be supported on a temporary basis to allow time for the business to prove it is viable.

7.27 The applicant has provided no information, to evidence the criteria laid out in the policy above and therefore policy LP 20 is not met when assessing whether a new home for a rural worker in the

countryside may be acceptable. The proposal does not therefore satisfy the requirements of policy LP 20.

7.28 LP 28 states a proposal for housing will be supported on a site well-related to a built-up area, as an exception to the requirements of relevant policies, where it can be demonstrated that:

a. at least 60% (net) of the site area is for affordable housing for people with a local connection;

b. the number, size, type, and tenure of the affordable homes is justified by evidence that they would meet an identified need arising within the settlement or nearby small settlements (as defined in 'Small Settlements') through a local needs survey or other local needs evidence;

c. the remainder of the site area is available as open market housing or plots suitable for custom or self-build homes tailored to meet locally generated need; and

d. the amount of development and location of the proposal is sustainable in terms of:

i. availability of services and existing infrastructure;

ii. opportunities for users of the proposed development to travel by sustainable modes; and

iii. effect on the character of the immediate locality and the settlement as a whole.

7.29 The applicant has provided no information to support the use criteria a-c of policy LP28 to support a proposal on a site well-related to a built-up area, as an exception to the requirements of relevant policies states. In any event, the site would remain contrary to criteria d .iii of policy LP 28 which requires that the amount of development and location must be sustainable in terms of the effect on the character of the immediate locality and the settlement as a whole. This criterion would remain a point of issue which is discussed in the following sections of this report. As such it is considered that the proposal does not meet the requirements of policy LP 28 as a rural exceptions housing site.

7.30 LP33 states a proposal for the conversion of a building in the countryside that would not be dealt with through 'Prior Approval/ Notification' will be supported where it can be demonstrated that:

a. the building is:

i. redundant or disused;

ii. of permanent and substantial construction;

iii. not in such a state of dereliction or disrepair that significant reconstruction would be required; and

iv. structurally capable of being converted for the proposed use; and

- b. the proposal:
 - i. would lead to an enhancement of the immediate setting;
and
 - ii. any extension or alteration would not adversely affect the form, scale, massing, or proportion of the building.

A proposal for the replacement of a building in the countryside will be supported where criteria a, i to iii above are fulfilled and the proposal would lead to a clear and substantial enhancement of the immediate setting.

- 7.31 The application does not propose the conversion of a building in the countryside and there are no buildings on site that are of a permanent and substantial construction capable of conversion for the proposed use.
- 7.32 The applicant has detailed within paragraphs 2.7 and 3.13 of the planning and heritage statement that the site used to have two residential properties “that appear to have been demolished in the early 1940’s”. The removal of the dwellings renders the use of LP 33 void and therefore the site and application would fail to accord.
- 7.33 The appeal Inspector (in assessing previous schemes) considered this issue and noted that the previous buildings on site appeared to have been demolished around 1940 and so did not create any precedent for the appeal scheme and any remains of the previous structures have long since blended into the landscape. The proposal therefore does not satisfy the requirements of policy LP 33 as it is not a replacement dwelling. Neither does the site satisfy the current definition of previously developed land (brownfield land) set out in the glossary to the NPPF 2023 which specifically excludes such land.
- 7.34 In conclusion, the application site relates to the countryside rather than that of the built-up area of Abbotsley village. As such the application cannot be considered as ‘infill development’ as Manor Farm is not considered to form part of the built-up area of Abbotsley but rather that of an isolated property. This position remains unaltered from the previous applications and appeals for the site. The proposal is unable to be considered under the limited and specific opportunities provided for by other policies within the local plan as set out in policy LP10 of the local plan, as the proposed dwelling fails to meet the criterion set out in policies LP20, LP28 and LP33. The proposal does not accord with policy LP2 and LP10 of Huntingdonshires Local Plan to 2036. The principle of development is therefore considered to be unacceptable.

The mobile home

- 7.35 The key issue to consider regarding the mobile home is whether the unit is a caravan as defined by the Caravan Sites and Control

of Development Act 1960 (as amended). It is established through case law that the stationing of a caravan on land is not operational development within the meaning of Section 55 of the Town and Country Planning Act 1990 as long as the caravan meets the definition of a caravan as set out in Section 13 of the Caravan Sites Act 1968.

7.36 The Caravan Sites and Control of Development Act 1960 (as amended) defines a caravan as any structure designed or adapted for human habitation which is capable of being moved from one place to another whether being towed, or being so transported on a motor vehicle or trailer any motor vehicle so designed or adapted but does not include;

- a. Any railway rolling stock which is for the time being on rails forming part of a railway system, or
- b. Any tent

7.37 This definition was modified by Section 13(1) of the Caravan Sites Act 1968 which deals with twin unit caravans. Section 13(1) permits a structure designed or adapted for human habitation which;

- a. Is composed of not more than two sections separately constructed and designed to be assembled on a site by means of bolts, clamps, or other devices; and
- b. Is when assembled, physically capable of being moved by road from one place to another etc. (note: just because a unit could not be lawfully moved on the highway does not preclude it from being a caravan)

7.38 Section 13(2) goes on to state that the expression “caravan” shall not include a structure designed or adapted for human habitation which falls within paragraphs (a) and (b) of the foregoing subsection if its dimensions when assembled exceed 20 meters in length, 6.8 metres in width, and 3.05 metres internally from the floor at the lowest level to the ceiling at the highest level.

7.39 These three tests are known as the “Construction Test” “Mobility Test” and “Size Test.”

Construction Test

With regard to the “Construction Test,” the applicant has not provided detail regarding the number of sections of the mobile unit or how the final unit will be assembled. Therefore, the application fails to include sufficient information for officers to determine if the proposal complies with the construction test.

Therefore, it is considered that the proposed unit would not meet the “Construction Test” set out in Section 13(1) a of the Caravan Sites Act 1968.

Mobility Test

Current appeal decisions demonstrate that the “mobility test” required by Section 13(1) b, requires that the completed unit only needs to be capable of being moved when assembled from one place to another by road. It does not have to actually be moved and it does not have to be lawful in terms of compliance with highway legislation for example.

The application indicates the use of ground screw foundations however fails to clearly detail if the mobile unit will be attached to the ground and/ or is capable of being moved off site once constructed.

Under the circumstances it is unclear from the details submitted would meet the “Mobility Test” set out in Section 13(1) of the Caravan Sites Act 1968.

Therefore, it is considered that the proposed unit would not meet the “Mobility Test” set out in Section 13(1) of the Caravan Sites Act 1968.

Size test

The third test to ascertain whether a unit meets the statutory definition of a caravan is the “size test.” The Caravan Sites Act 1968 and Social Landlords (Permissible Additional Purposes) (England) Order 2006 (Definition of Caravan) (Amendment) (England) Order 2006, amended Section 13(2) of the 1968 Act to increase the maximum dimensions of a caravan to: (a) Length (exclusive of any drawbar) – 65.616 feet/20 metres (b) Width – 22.309 feet (6.8 metres) (c) Overall height of living accommodation (measured internally from the floor at the lowest level to the ceiling at the highest level) – 10.006 feet (3.05 meters)

According to the detailed plans submitted the proposed caravan measures 19.62 metres in length by 6.42 metres in width. The internal height is 3.05 metres. It is agreed that on this basis, the “size test” is passed.

Conclusion – Three Tests

The applicant has failed to include sufficient detail within the supporting information construction, and movability in line with the definition of a caravan under the act. Therefore, it is considered that the proposed mobile unit would not meet the statutory definition of a caravan.

- 7.40 In conclusion, it is considered that the details submitted are insufficient for officers to determine if the proposal meets the three tests as laid out above, as such fails to meet the requirements as laid out under Caravan Sites and Control of Development Act 1960 (as amended). Based on the information submitted, the proposed mobile home would constitute operational development (operational development being a building, structure etc. as defined by Section 55 of the Town and Country Planning Act).

7.41 Therefore, it is considered that the proposed mobile home is a structure that requires planning permission in its own right. The design and visual amenity impacts are assessed in the sections below.

Design, Visual Amenity, and the impact upon the Character of the Area including Impact on Heritage Assets

7.42 This application seeks planning permission for the siting of a mobile home and domestic paraphernalia on land known as Whites Paddock, Pitsdean Road, Abbotsley.

7.43 The site is located within the Abbotsley Conservation Area.

7.44 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape.

7.45 Section 12 of the NPPF (2023) seeks to achieve well designed places, noting that the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development.

7.46 The National Design Guide (2020) sets out the characteristics of well-designed places and demonstrates what good design means in practice. It covers the following: context, identity, built form, movement, nature, public spaces, uses, homes and buildings, resources, and lifespan. Of particular note to the current proposals is guidance relating to design and how this understands and relates well to the site within its local and wider context, how the history of the place has evolved and that local sense of place and identity are shaped by local history, culture and heritage, how a proposal responds to existing local character and identity, whether proposals are well designed, high quality and attractive and whether they are of an appropriate building type and form.

7.47 The HDS Design Guide (2017) is relevant to the application proposals, in particular chapter 4 and sections 3.7 and 3.8. The guide states that the size, shape, and orientation (the form) of a building can have a significant impact upon its surroundings. The form of new buildings should generally reflect traditional built forms found in Huntingdonshire. The scale, massing and height of proposed development should be considered in relation to that of adjoining buildings, the topography, pattern of heights in the area and views, vistas, and landmarks.

- 7.48 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.
- 7.49 Paragraph 205 of the National Planning Policy Framework (December 2023) sets out that ‘When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. Paragraph 206 states that ‘Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification’. Paragraph 202 states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal.
- 7.50 Policy LP34 of the Local Plan to 2036 details “Great weight and importance is given to the conservation of heritage assets and their settings. The statutory presumption of the avoidance of harm can only be outweighed if there are public benefits that are powerful enough to do so.”
- 7.51 In terms of conservation areas policy LP 34 states goes on to state that “A proposal within, affecting the setting of, or affecting views into or out of, a conservation area should preserve, and wherever possible enhance, features that contribute positively to the area’s character, appearance and setting as set out in character statements or other applicable documents. A proposal should:
- minimise negative impact on the townscape, roofscape, skyline and landscape through retention of buildings/groups of buildings, existing street patterns, historic building lines and landform;
 - retain and reinforce local distinctiveness with reference to height, scale, massing, form, materials and the character and appearance of the conservation area; and
 - where relevant and practical, remove features that are incompatible with or detract significantly from the conservation area.
- 7.52 Unfortunately, no formal Character Area Appraisal of the Abbotsley Conservation Area has been completed by the Council, but the area is under review. Nevertheless, the Conservation Area remains in place as designated in November 1975. As such the local planning authority remains under statutory duty, under Section 72 of the Town and Country Listed Buildings and Conservation Areas Act 1990, to pay special attention to the

desirability of preserving or enhancing the character or appearance of a conservation area.

- 7.53 Within the appeal decision for application 19/00129/FUL the appeal inspector highlights that whilst The Planning (Listed buildings and conservation areas) Act 1990 requires a review of Conservation Areas, the fact that a review at the time of the appeal had not been completed did not affect the designation of the conservation area nor the tests that were applied to the development.
- 7.54 Within the appeal decision the appeal inspector considered the special character of the Abbotsley Conservation Area to be an historic rural settlement within open countryside based around the St Marys Church (Grade II listed) a short way from the application site. The appeal Inspector termed the historic settlement as characterised by a loose collection of principal farmsteads with associated outbuildings, all of which have a close relationship with the landscape in which they are located. The inspector included Manor Farm within this description.
- 7.55 The appeal inspector stated within their decision that, in their opinion, the open fields which lie to the west of Pitsdean Road (which comprises the current site) makes a positive contribution towards the character and appearance of the Conservation Area and they maintain the separation between the outlying farmsteads, notwithstanding that these are a care home and the built-up edge of the village. They (the fields) provide open views where the setting of the settlement and its rural character can be readily appreciated.
- 7.56 No development relating to the open fields to the west of Pitsdean Road has been built upon nor granted planning permission since this appeal decision which would alter the setting. The open and undeveloped nature of the site continues to make a positive contribution to the significance of the Conservation Area.
- 7.57 As well as the clear views of the site from Pitsdean Road, there are fragmented views from the public footpath and recreation ground to the northeast of the site and accessed off Hardwicke Lane. The public footpath is a right of way referenced as 1549 on the Council's mapping system. From here, the rear elevation of the building will be experienced.
- 7.58 The proposal includes the entirety of the parcel of land located between defined built edge of the settlement and the isolated buildings of Manor Farm. The proposed mobile home will sit to the centre of this parcel of land, acting as a focal point neither related to the built-up area or isolated buildings of Manor Farm.
- 7.59 The mobile home is of a design that would sit at odds with the surrounding countryside, albeit single storey in nature at a height

reduced from that of previous two storey applications, it fails to overcome the change in character of the site any substantial building form would introduce. The character would be changed from that of open fields to domestic curtilage. The subdivision of the site and the paraphernalia associated with residential use is likely to further domesticate and change the character and appearance of the site.

- 7.60 The application fails to supply sufficient details surrounding the proposed outbuilding in terms of height and materials. The planning heritage statement details they will complement the mobile home appearance. However as previously detailed within the report the materials for the mobile home have not been supplied. Notwithstanding the above, the shed will be sited to the south of the mobile home separated by a small distance. It is considered that this will create a further uncharacteristic built form impeding the views of rising fields beyond the site into the open countryside from Pitsdean Road.
- 7.61 The applicant has described the design and layout of the proposal to 'seamlessly blend in with existing buildings in the village' but he has failed to consider the opinion set out in previous decisions, which concluded that this site was not an appropriate location for a dwelling. Policy LP 12 states that in response to context a proposal will be supported where it can be demonstrated it;
- a. Contributes positively to the area's character and identity; and
 - b. Successfully integrates with adjoining buildings, the routes and spaces between buildings, topography, and landscape.
- 7.62 The proposed scheme fails to positively contribute to the areas character and identity and fails to integrate with adjoining buildings and spaces between buildings, topography, and landscape. Rather it introduces an incongruous and alien feature within the proposal site which detracts from the open character and setting of the village maintained by the separation of the built-up area from Manor Farm by the fields which comprise this site. As such the proposal fails to comply with policy LP 12 parts a) and b).
- 7.63 Paragraph 201 of the NPPF (December 2023) states that Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.
- 7.64 HDC's Conservation Officer considers that the open and undeveloped nature of this site makes a positive contribution to

the significance of the character and appearance of the Abbotsley Conservation Area and reinforces the historic rural character of the settlement enabling the spatial relationship between the historic outlying Manor Farm Farmstead and the body of the settlement. The HDC Conservation Officer further concludes that the proposal would erode the openness and character of the site intruding in open undeveloped views of the countryside and landscaped setting of the village from Pitsdean Road. Domestic paraphernalia associated with the residential use could further domesticate the appearance of the side and further erode the views.

- 7.65 HDC's Conservation Officer further considers that the reduction in separation from the proposed built form and the Manor Farm complex would harm the special character of this part of the conservation area and would impede public views within and therefore would cause harm.
- 7.66 The Planning (Listed buildings and conservation areas) Act 1990 s72 requires that the determining authority shall have special regard to the desirability of preserving or enhancing the character or appearance of the conservation area.
- 7.67 Paragraph 203 of NPPF (December 2023) requires local planning authorities when determining applications to take account of;
- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
 - b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
 - c) the desirability of new development making a positive contribution to local character and distinctiveness.
- 7.68 Paragraph 205 states that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.'
- 7.69 The HDC Conservation Officer considers that the proposal is considered to present a less than substantial harm to the Abbotsley Conservation Area. The Conservation Officer details that this does not amount to a less than substantial objection to the proposal, but it does recognise that this level of harm should be weighed against the public benefits that this development brings and where appropriate securing its optimum viable use.

- 7.70 The addition of a mobile home creating a single domestic unit is considered to attract little in the way of public benefit, of which is fundamentally private to the applicant alone, and there is no evidence of the proposed development securing the optimum viable use of the site.
- 7.71 As such it is considered that the proposal introduces less than substantial harm to the designated heritage asset of Abbotsley Conservation Area that is unable to attract sufficient public benefit to outweigh the harm caused. Therefore, it is considered that the proposal fails to accord with policy LP34 of Huntingdonshires Local plan to 2036 and paragraphs 203 and 205 of the NPPF (December 2023) and S72 of The Planning (Listed buildings and conservation areas) Act 1990.
- 7.72 In conclusion, the proposal by virtue of its design and location is considered not to demonstrate that it responds positively to the areas character and identity as open countryside and fails to integrate with the adjoining buildings and landscape. The design of the mobile home fails to relate to the site and is of an inappropriate building type and form and is out of keeping with the prevailing pattern and grain of development along this section of Pitsdean Road. The proposed development fails to respect the character, appearance, and form of the Abbotsley Conservation Area and while the identified harm is considered to be less than substantial there would be no public benefits derived from the provision of mobile home to outweigh this harm. As such, the proposal is considered to be contrary to Section 72 of the Planning (Listed Building and Conservation Areas) Act 1990, Policies LP11, LP12 and LP34 of the adopted Huntingdonshire Local Plan to 2036 and Sections 12 and 16 of the National Planning Policy Framework in this regard.

Impact on Residential Amenity

- 7.73 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.74 The closest neighbouring residential properties that are most likely to be impacted upon as a result of the proposed development are Numbers 2,4,8, and 21 Pitsdean Road, 45 Blacksmiths Lane and 14 Hardwicke Lane. The proposed development is not considered to result in any detrimental overbearing, overshadowing, or overlooking impacts on the neighbouring properties as the proposed dwelling would be single storey in height and sufficiently separated from the adjoining boundaries.

- 7.75 In terms of amenity for future occupiers, it is considered that the future occupiers would benefit from both acceptable internal and external amenity.
- 7.76 Overall, it is considered that a high standard of amenity would be provided for all users of the development and maintained for neighbours. The development is considered acceptable in terms of overshadowing, overlooking, overbearing impact, loss of privacy, loss of light and would not have a significant detrimental impact upon residential amenity. The proposal is therefore considered to be in accordance with Policy LP14 of the Local Plan to 2036.

Highways Safety, Parking Provision and Access

- 7.77 Policies LP16 and LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.
- 7.78 Plans have been submitted with the application that indicate a new access will be formed into the site south of the current informal access. Pitsdean Road, is an adopted unclassified road subject to a 30-mph speed limit. The access is detailed as 5.2 metres wide and includes a turning area within the site.
- 7.79 Cambridgeshire County Council as the Local Highways Authority have reviewed the proposals and advised that the effect on the public highway should be mitigated if conditions relating to gates, construction, visibility splays and drainage are attached to any permission members are minded to issue. Therefore, subject condition, raises no objections in terms of highway safety.
- 7.80 The proposed three-bedroom mobile home would provide adequate off-street car parking spaces and adequate space to ensure that vehicles enter the highway in a forward gear. Furthermore, the proposal includes the provision of cycle storage within the outbuilding to encourage sustainable modes of transport.
- 7.81 Therefore the proposal which would comply with aims of policies LP16 and LP17 of the of the Huntingdonshire Local Plan in regard to car and cycle parking and should be secured by if approval were being recommended.
- 7.82 In conclusion, subject to condition, the proposal would provide sufficient access, parking and turning for vehicle movement associated with residential use and complies with the requirement for cycle parking. Therefore, the proposed development is considered to accord with policies LP16 and LP17 of the of the

Biodiversity

- 7.83 Paragraph 180 within Section 15 of the NPPF (2023) states that planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated. The policy also requires development proposals to ensure no net loss in biodiversity and provide a net gain in biodiversity where possible.
- 7.84 The application is not supported by a Preliminary Ecological Appraisal (PEA) and given that the site comprises of a field adjacent to open fields into the countryside and does not presently contain development, a PEA is required to assess whether there is potential to affect any habitats/biodiversity of value. It is noted that a PEA was submitted with the previous applications, however these would not be acceptable to accompany this application due to the time that has lapsed since their completion. The rear boundary in particular (to the west) has potential to provide habitat of value as it comprises a drainage ditch.
- 7.85 There might be opportunities to increase the biodiversity value of the site, but this assessment needs to relate to a sufficient PEA and is dependent of the findings of what is currently present on the site.
- 7.86 Taking the above into account, the lack of an up-to-date PEA to accompany the application, fails to allow for an assessment based on evidence as to whether the proposal accords with policy LP 30. Therefore, fails to comply with Policy LP30 of Huntingdonshire Local Plan to 2036 and Paragraph 180 within Section 15 of the NPPF (December 2023).

Trees

- 7.87 Policy LP31 of the Local Plan states a proposal will be required to demonstrate that the potential for adverse impacts on trees, woodland, hedges, and hedgerows has been investigated. A proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge, or hedgerow of value that would be affected by the proposed development.
- 7.88 The site does not benefit from trees except for those positioned outside the red line of the application site on its perimeter. Given there are no trees within the red line, it should be possible to deal with the retention and protection of any existing trees outside the site that may be affected through the construction process, as well

as provision of new tree planting as part of a landscape condition, if approval of the application were to be recommended.

- 7.89 Accordingly, subject to the imposition of a condition regarding landscaping details the proposal is considered acceptable in accordance with Policy LP31 of the Local Plan to 2036.

Flood Risk and Drainage

- 7.90 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test.
- 7.91 According to the Environment Agency (EA) 'Flood Map for Planning' the site lies within Flood Zone 1, and as such, has the lowest probability of flooding.
- 7.92 The applicant proposes a rainwater harvesting tank which is shown on the plans to the north of the mobile home and a Klargestor sewage treatment plant. No further details have been provided concerning drainage details. If approval were to be recommended, drainage details could be the subject of a condition in this instance, due to the proposal not being major scale development.
- 7.93 The proposed development is therefore considered to accord with Policies LP 5 and LP 15 of the Local Plan to 2036.

Accessible and Adaptable Homes

- 7.94 Policy LP25 of the Huntingdonshire's Local Plan to 2036 states that proposal for new housing will be supported where they meet the optional Building regulation requirement M4(2) 'accessible and adaptable dwellings' unless it can be demonstrated that site specific factors make this impractical or unviable.
- 7.95 To ensure that the development can meet these standards a condition would be imposed on any permission that may be granted in this regard in accordance with Policy LP25 of Huntingdonshire's Local Plan to 2036.

Water Efficiency

- 7.96 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G.
- 7.97 The applicant has not specifically confirmed that the development would comply with the optional building regulation for water efficiency, however, the submission states that a rainwater harvesting tank would form part of the proposal and details of this

could be conditioned and secured should the recommendation be for approval.

Other Issues

- 7.98 The local planning authority have commenced preparation of a Conservation Area Character statement for Abbotsley. Whilst it is hoped to have a draft document available for consultation for Summer 2024 a date has yet been confirmed.

Developer Contributions

- 7.99 Community Infrastructure Levy (CIL):
If the development were to be approved and is a genuine self-build, it would be exempt from the CIL regulations. Otherwise, the development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments would cover footpaths and access, health, community facilities, libraries and lifelong learning and education.
- 7.100 Bin UU:
Part H of the Developer Contributions SPD (2011) requires a payment towards refuse bins for new residential development. A Unilateral Undertaking to secure the provision of wheeled bins has not been submitted as part of the application. On this basis the proposal would not provide a satisfactory contribution to meet the tests within the CIL Regulations. The proposal would therefore fail to accord with Policy LP4 of the Huntingdonshire Local Plan to 2036 and the Developer Contributions Supplementary Planning Document (2011).
- 7.101 There are no other material planning considerations which have a significant bearing on the determination of this application.

Conclusion

- 7.102 Planning law requires that applications for planning permission be determined in accordance with the development plan unless material considerations strongly indicate otherwise.
- 7.103 As detailed in this report, it is clear from the planning history on the site that the current use of the land is not residential. The proposed use of the land as residential therefore represents a material change of use. The application site relates to the countryside rather than that of the built-up area of Abbotsley village and is unable to be considered under the limited and specific opportunities provided for by other policies within the local plan as set out within local polices. The principle of development is therefore considered to be unacceptable.
- 7.104 The proposal by virtue of its design and location fails to demonstrate that it responds positively to the areas character and

identity as open countryside and fails to integrate with the adjoining buildings and landscape.

- 7.105 As a result of the form, siting and design, the proposed mobile home is considered to result in less than substantial harm to the character and appearance of Abbotsley Conservation Area and surrounding area and the proposal is not considered to generate sufficient public benefits to outweigh the identified harm.
- 7.106 The application fails to include an up-to-date Preliminary Ecological Appraisal to allow an assessment as to whether the proposal contributes to and enhances the natural and local environment and demonstrates that all potential adverse impacts on biodiversity and geodiversity have been investigated.
- 7.107 It is also worth noting that a Unilateral Undertaking to secure the provision of wheeled bins has not been provided during the course of the application.
- 7.108 There are no other material planning considerations which have a significant bearing on the determination of this application.
- 7.109 Having regard to applicable national and local planning policies, and having taken all relevant material considerations into account, it is therefore recommended that planning permission is refused.

8. RECOMMENDATION - REFUSAL for the following main reasons

- 1) The application site relates to the countryside rather than that of the built-up area of Abbotsley village. As such the application cannot be considered as 'infill development' as Manor Farm is not considered to form part of the built-up area of Abbotsley but rather that of an isolated property. This position remains unaltered from the previous applications and appeals for the site. The proposal is unable to be considered under the limited and specific opportunities provided for by other policies within the local plan as set out in policy LP10 of the local plan, as the proposed dwelling fails to meet the criterion set out in policies LP20, LP 28 and LP 33. The proposal does not accord with policy LP2 and LP10 of Huntingdonshires Local Plan to 2036. The principle of development is therefore considered to be unacceptable..
- 2) The proposed development by virtue of its design and location would appear as an uncharacteristic and alien feature in the countryside. The proposal does not demonstrate that it responds positively to the areas character and identity as open countryside and fails to integrate with the adjoining buildings and landscape. The design of the mobile home fails to relate to the site and is of an inappropriate building type and form and is out of keeping with the prevailing pattern and grain of development along this section of Pitsdean Road. Therefore, fails to accord with policies LP11 and

LP12 of Huntingdonshires Local Plan to 2036 and Section 12 of the National Planning Policy Framework in this regard.

- 3) The proposed development fails to respect the character, appearance, and form of the Abbotsley Conservation Area and while the identified harm is considered to be less than substantial there would be no public benefits derived from the provision of mobile home to outweigh this harm. As such, the proposal is considered to be contrary to Section 72 of the Planning (Listed Building and Conservation Areas) Act 1990, Policy LP34 of the adopted Huntingdonshire Local Plan to 2036 and section 16 of the National Planning Policy Framework in this regard.
- 4) The application contains insufficient up to date information, such as a Preliminary Ecological Appraisal, to enable the impact of the proposed development on any biodiversity loss to be assessed. Therefore, fails to comply with Policy LP30 of Huntingdonshire Local Plan to 2036 and Paragraph 180 within Section 15 of the NPPF (December 2023).
- 5) The application is not accompanied by a Unilateral Undertaking for the provision of wheeled bins and therefore fails to comply with part H of the Developer Contributions Supplementary Planning Document (2011) and Policy LP4 of the Huntingdonshire Local Plan to 2036.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Andrea Dollard - Development Management Officer** Andrea.Dollard@huntingdonshire.gov.uk

Pathfinder House, St Mary's Street
Huntingdon, PE29 3TN
Developmentcontrol@huntingdonshire.gov.uk

01480 388424
www.huntingdonshire.gov.uk

Head of Planning Services
Pathfinder House
St. Mary's Street
Huntingdon
Cambridgeshire PE 29 3TN

Application Number: 24/00075/FUL Case Officer Andrea Dollard
Proposal: Siting of a mobile home as defined by the Caravan Act without concrete foundations

**Location: Whites Paddock Pitsdean Road Abbotsley
Observations of Abbotsley Town/Parish Council.**

Please ✓ box as appropriate

Recommend **approval** because(please give relevant planning reasons in space below)

Please see separate letter.

Recommend **refusal** because...(please give relevant planning reasons in space below)

No observations either in favour or against the proposal

Abbotsley Parish Council Clerk to Abbotsley Town/Parish Council. (For GDPR purposes please do not sign)

Date: *2nd April 2024*

Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

Please send response to email address below:-

Development.control@huntingdonshire.gov.uk

(Development Management)

ABBOTSLEY PARISH COUNCIL

Clerk to the Council: Katie Bates, Bridge House, 27 Church Street, Buckden, St Neots, Cambridgeshire PE19 5TP
Email: clerk@abbotsleyparishcouncil.gov.uk Telephone: 07588 267140 www.abbotsleyparishcouncil.gov.uk

Andrea Dollard
Development Control
Huntingdonshire District Council

2nd April 2024

Dear Andrea

**24/00075/FUL – Siting of a mobile home as defined by the Caravan Act without concrete foundations
Whites Paddock, Pitsdean Road, Abbotsley**

Abbotsley Parish Council considered this application at its meeting held 21st March 2024. Two members of the Parish Council were unable to be present. The five members present voted with a majority of 4:1 to recommend **approval**.

One Councillor voted to recommend refusal of the application. For the purposes of this response, only the reasons supporting the Parish Council recommendation are included here.

Those four Councillors that voted to recommend approval considered that residential development surrounds the site on three sides, property was on the site in the past, the proposal would have minimal impact and this application is for one mobile home only.

Yours sincerely

Katie Bates

Katie Bates
Clerk to Abbotsley Parish Council

Development Management Committee



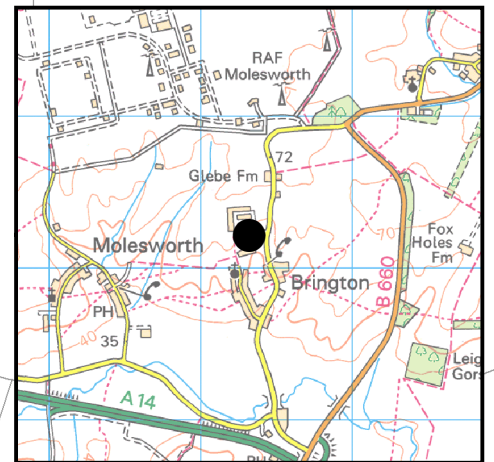
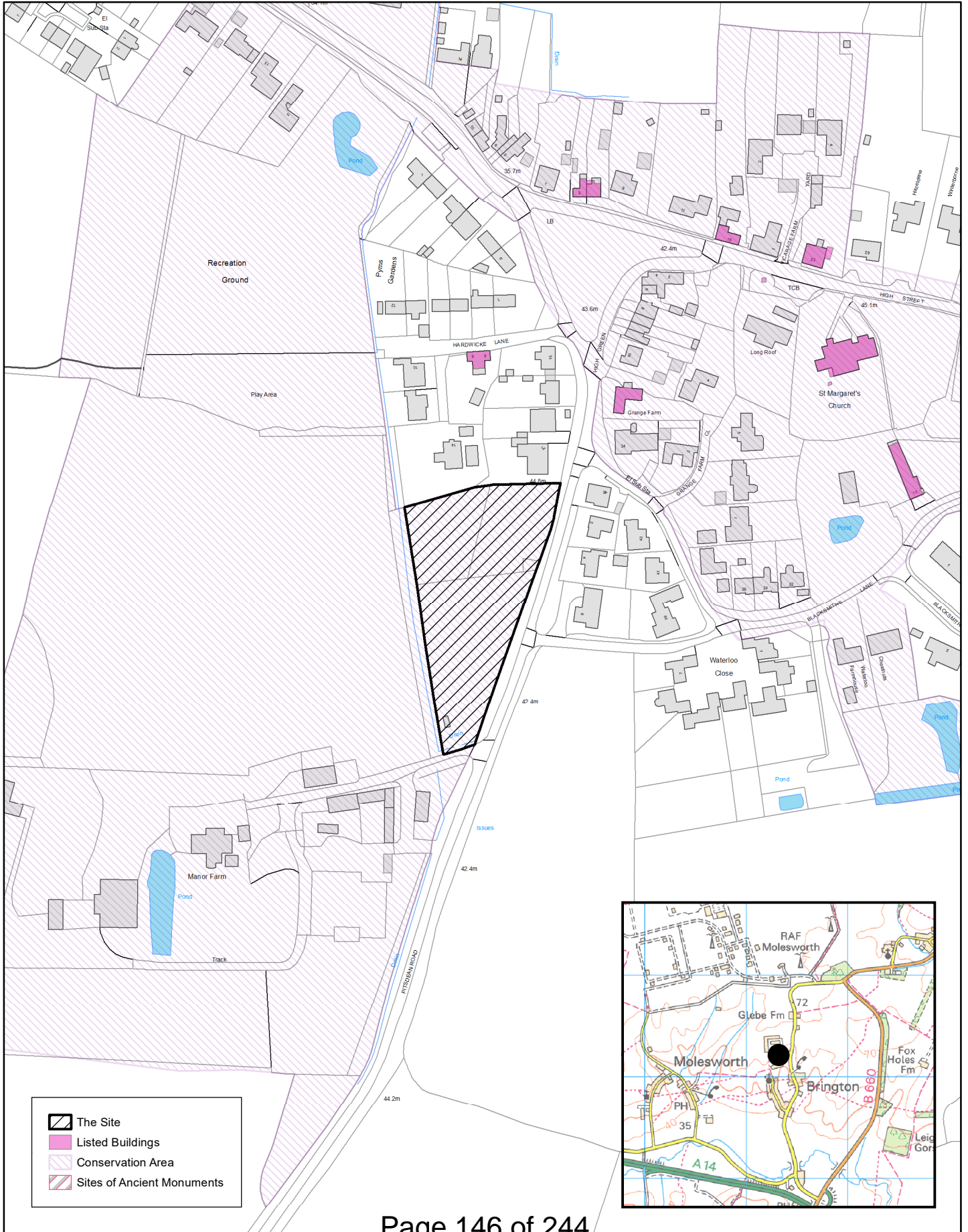
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Application Ref: 23/00075/FUL

Date Created: 07/05/2024

Location: Abbotsley

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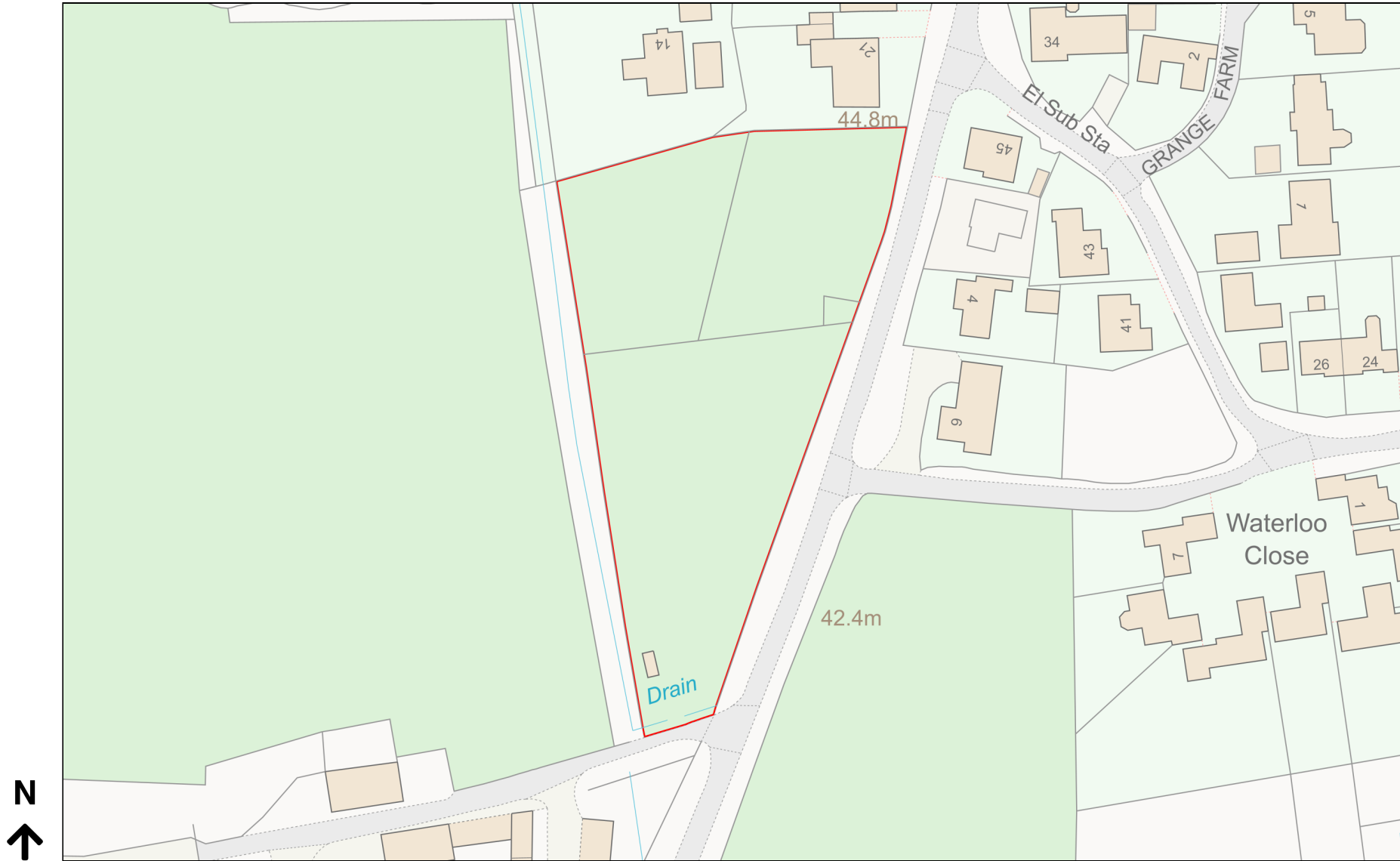
Location Plan

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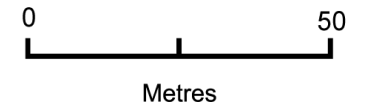
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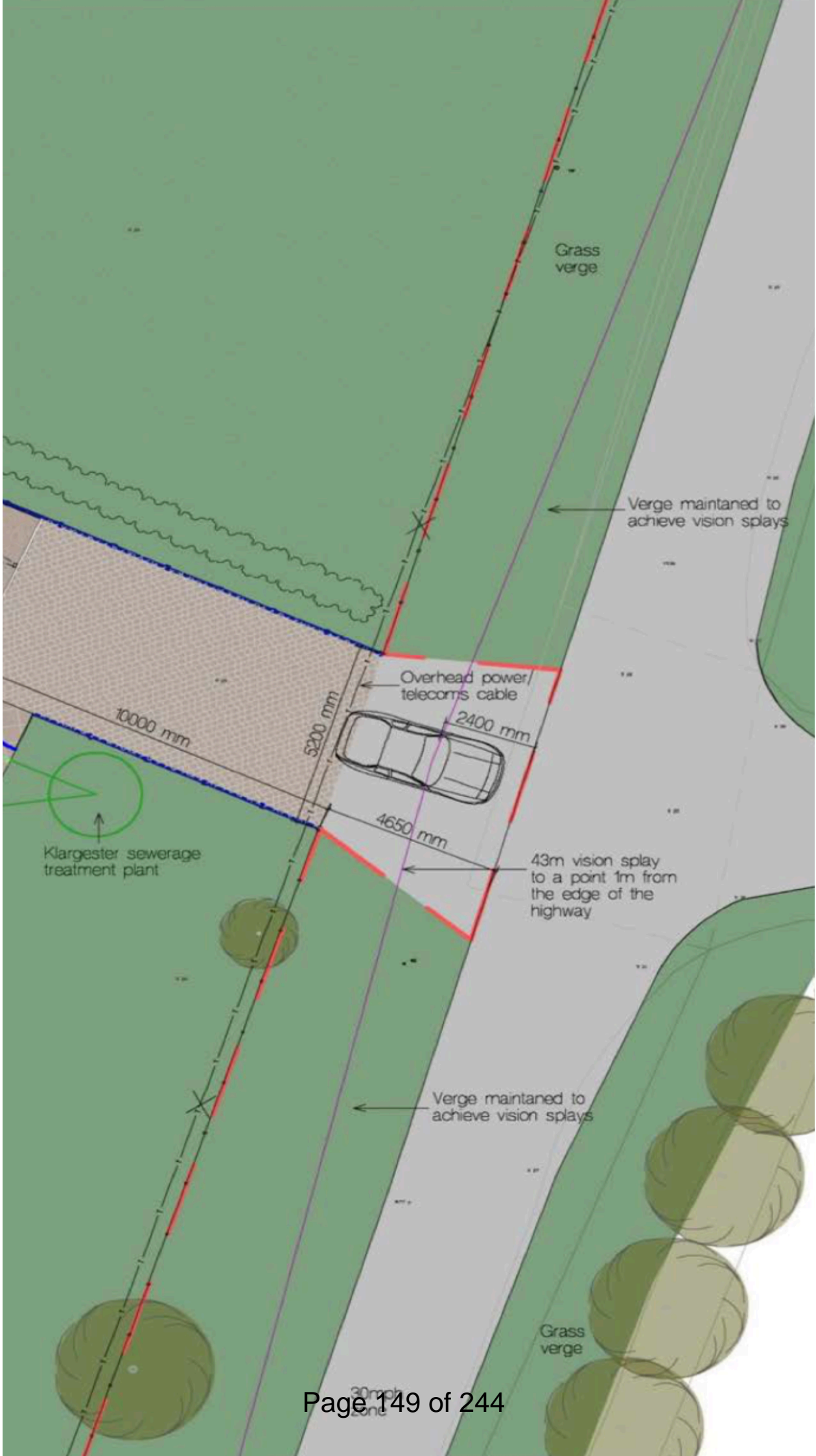
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Planning Portal Reference: PP-12736756v1

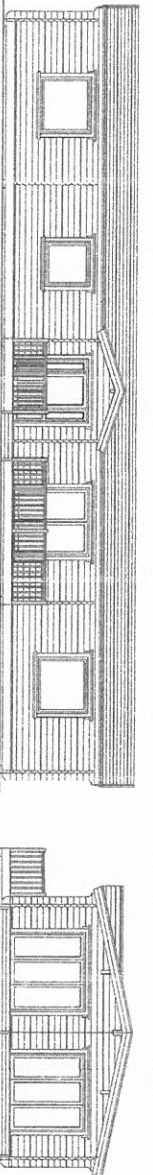






Windermere

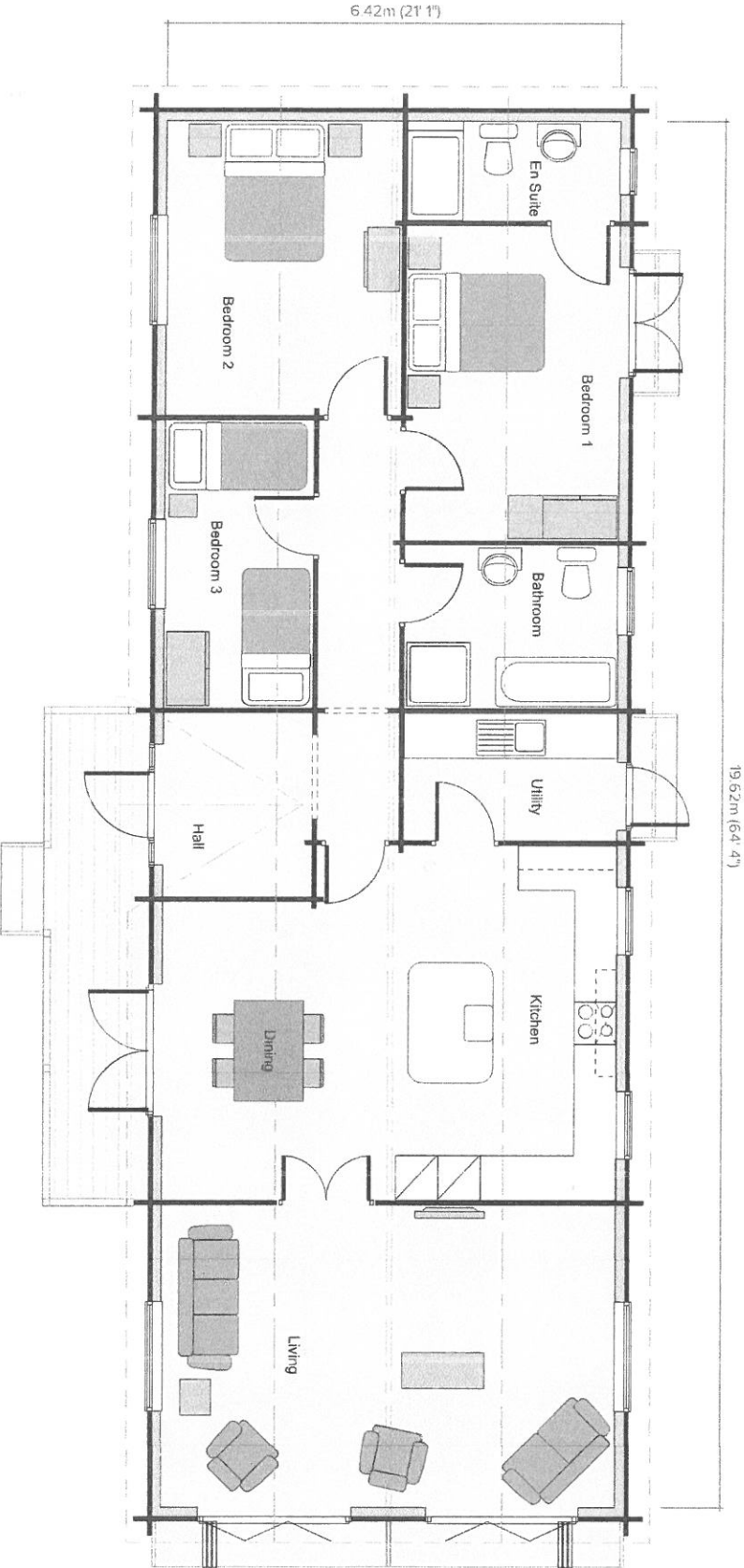
3 Bedroom
125.96m² (1,356 sq ft)



ELEVATIONS SCALE 1:200

TIMELESS TRADITIONAL

FLOOR PLAN SCALE 1:100



ROOM DIMENSIONS

Lounge	4.30m x 6.42m (14' 1" x 21' 1")	Utility	1.80m x 3.03m (5' 11" x 9' 11")	Bedroom 3	4.07m x 2.10m (13' 4" x 6' 11")
Kitchen/Dining	5.02m / 4.22m x 6.42m (16' 6" / 13' 10" x 21' 1")	Bedroom 1	4.45m x 3.03m (14' 7" x 9' 11")	Bathroom	2.30m x 3.03m (7' 7" x 9' 11")
Entrance Hall	2.60m x 2.10m (8' 6" x 6' 11")	En-suite	1.40m x 3.03m (4' 7" x 9' 11")		
		Bedroom 2	4.15m x 3.32m (13' 7" x 10' 11")		

EXTERNAL HEIGHT 3600 mm

INTERNAL HEIGHT 3050 mm

HEIGHT TO EAVES 2600 mm

DEVELOPMENT MANAGEMENT COMMITTEE 20th MAY 2024

Case No: 23/02123/FUL

Proposal: ERECTION OF THREE HOUSES

Location: LAND SOUTH OF HILL PLACE, BRINGTON

Applicant: CAMPBELL BUCHANAN

Grid Ref: 508317 276223

Date of Registration: 27th NOVEMBER 2023

Parish: BRINGTON AND MOLESWORTH

RECOMMENDATION – REFUSE

This application is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as the Officer recommendation of refusal is contrary to that of the Parish Council.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The application site is situated at the northern end of Brington, on the western side of Brington Road, with RAF Molesworth being located 500 metres to the north of the site. The site is 0.45 hectares in size and is broadly rectangular in shape.
- 1.2 The site currently comprises vacant open land fronting onto estate roads to the north, north-east and north-west, with the original plots 9-16 (occupied as 2 - 16 The Green) of the development to the south and green space and tennis courts to the south and southwest. The application site sits as a plateau with the land rising relatively gently to the northwest and falling away more significantly to the properties to the southeast.
- 1.3 The Hill Place, Brington development is complete in terms of the construction of the dwellings and follows approval of application reference 13/00679/FUL. This development comprised the erection of 56 dwellings together with associated access and landscaping works with the formation of public open spaces and facilities following the demolition of 40 existing dwellings.
- 1.4 The access road (Hill Place) provides a link from the development to the main Brington Road which provides access to RAF Molesworth to the north and the A14 to the south. The wider

development is surrounded by fields in use for agricultural purposes, with the main settlement of Brington being located south of the site.

- 1.5 There is a Public Right of Way (footpath 29/9) running immediately north within the site which then curves southwards towards Brington along the western side of the site.
- 1.6 There are no legally protected trees on or within close proximity to the site.
- 1.7 The site is not within or close to any designated Conservation Area but is approximately 250 metres north of All Saints Church which is a Grade II* listed building.
- 1.8 The site is situated in flood zone 1 according to the Environment Agency's Flood Maps for Planning and the Huntingdonshire Strategic Flood Risk Assessment (2017).

Proposal

- 1.9 This Planning permission is sought for the construction of 3 No dwellinghouses and associated works at land south of Hill Place Brington.
- 1.10 Submitted plans for this current application show a similar layout to the last refused proposal for the site (22/00951/FUL) and seeks to address the reasons for refusal with design amendments, most notably Plot 1 reducing in height so that it is now a single storey dwelling, rather than two storeys, and the removal of some fenestration to Plot 3 to minimise overlooking to No.16 The Green to the north.
- 1.11 The proposal would introduce three new dwellings to the west of the site, with the eastern part of the site comprising an orchard and the south being buffer planting. Two dwellings (Plots 2 and 3) would follow the building line established on Hill Place to the north facing into the site while the third dwelling (Plot 1) would be sited easterly opposite Plots 2 and 3.
- 1.12 Plot 1 would be a single storey pitched roof dwelling with a gable projection to the rear. This dwelling would be a two-bedroom, 4 person dwelling.
- 1.13 Plot 2 would be a two-storey pitched roof dwelling with a rear two-storey gable projection. This dwelling would be a four-bedroom, 8 person dwelling.
- 1.14 Plot 3 would be a two-storey pitched roof dwelling with a front and rear pitched-roof dormers and a rear two-storey gable projection. This dwelling would be a four-bedroom, 8 person dwelling.

- 1.15 Each dwelling would have a separate garage and drive.
- 1.16 Materials proposed in the submitted Application Form include Brick and render to match existing surrounding development, pantile and plain tile to match existing surrounding development (Plot 1 would have a thatched roof), white uPVC windows, black composite doors and both metal estate railing and close boarded fence boundary treatments.
- 1.17 During the lifetime of the application there have been amendments / confirmation received in terms of surface water drainage and Public Right of Way (both discussed later in this report). All revised details and information have been submitted and re-consultation has been undertaken accordingly with all relevant consultees.
- 1.18 This application has been accompanied by the following:
- Planning Statement
 - Proposed Site Plan
 - Proposed Site Section
 - Proposed Block Plan
 - Proposed Garages
 - Plot 1 Plans and Elevations
 - Plot 2 Plans and Elevations
 - Plot 3 Plans and Elevations
 - Proposed Garages
 - Existing Location Plan
 - Existing Site Plan
 - Existing Drainage
 - Flood Drainage Response Letter
 - Flood Risk Assessment and SUDS Statement (Updated 22.3.24)
 - Flood Risk Assessment and Outline Drainage Strategy
 - Arboricultural Impact Assessment and Tree Protection Plan
 - Tree Survey, Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan
 - Arboricultural Impact Assessment Site Plan
 - Ecological Enhancement Scheme
 - Planting Plan
- 1.19 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment.
- 2.3 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.
- 2.4 For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP1: Amount of Development
- LP2: Strategy for Development
- LP3: Green Infrastructure
- LP4: Contributing to Infrastructure Delivery
- LP5: Flood Risk
- LP6: Waste Water Management
- LP9: Small Settlements
- LP11: Design Context
- LP12: Design Implementation
- LP14: Amenity
- LP15: Surface Water
- LP16: Sustainable Travel
- LP17: Parking Provision and Vehicle Movement
- LP24: Affordable Housing
- LP25: Housing Mix
- LP28: Rural Exceptions Housing
- LP30: Biodiversity and Geodiversity
- LP31: Trees, Woodland, Hedges and Hedgerows
- LP32: Protection of Open Space
- LP34: Heritage Assets and their Settings
- LP37: Ground Contamination and Groundwater Pollution

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD (2011)
- Huntingdonshire Landscape and Townscape SPD (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2017)
- Cambridgeshire Flood and Water SPD (2017)
- LDF Developer Contributions SPD (2011)
- Annual Monitoring Review regarding housing land supply (2023)

- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

- 3.3 The National Design Guide (2021):
- C1 - Understand and relate well to the site, its local and wider context
 - I1 - Respond to existing local character and identity
 - I2 - Well-designed, high quality and attractive
 - B2 - Appropriate building types and forms
 - M3 - Well-considered parking, servicing and utilities infrastructure for all users
 - N3 - Support rich and varied biodiversity
 - H1 - Healthy, comfortable and safe internal and external environment
 - H2 - Well-related to external amenity and public spaces
 - H3 - Attention to detail: storage, waste, servicing and utilities.

For full details visit the government website at www.gov.uk

4. PLANNING HISTORY

- 4.1 1300679FUL - Erection of 56 dwellings (including 12 affordable units) following demolition of 40 existing dwellings, access and landscaping works and formation of public open spaces - Permitted 24.10.2014.
- 4.2 1408243COND - Condition information for 1300679FUL - All Conditions – Approved 28.8.2015.
- 4.3 15/00126/NMA - Amendment to Planning Permission 1300679FUL to list approved plans as a condition of the original planning permission - Consent 24.03.2015.
- 4.4 15/00455/S73 - Variation of Condition 27 of Planning permission 1300679FUL (added by 15/00126NMA) to substitute plans showing amended house types for those originally approved - Consent 26.08.2015.
- 4.5 15/01700/S73 - Variation of condition 27 of Planning Permission: 1300679FUL to substitute plans as listed in table, and variation of condition 4 (soft landscaping) to allow for reinforced planting along the boundary of plots 9-16 - Consent 25.02.2016.
- 4.6 17/02250/NMA - Amendment to bund and planting scheme for north and east of the development approved under 15/01700/S73 - Consent 31.10.2018.

- 4.7 18/02649/S73 - Variation of Condition 1 for application 1402201FUL for the extension of permitted period of use - Withdrawn 01.02.2019.
- 4.8 19/00302/ENBOC - Breach of conditions 4 (Soft Landscaping) and 12 (Ecological Enhancement) of 15/01700/S73 as amended by 17/02250/NMA – Notice Issued 23.12.2020.
- 4.9 19/00801/FUL - Temporary use of existing building and landscaping as a sales cabin to support the consented development 13/00679/FUL) for a period of 9 months - Permitted 25.06.2019.
- 4.10 20/00012/FUL - Full planning application for the erection of 4 new bungalows and 2 new chalet bungalows, visitor parking, landscaping and associated works - REFUSED 26/8/2020.
- 4.11 20/00039/REFUSL - Full planning application for the erection of 4 new bungalows and 2 new chalet bungalows, visitor parking, landscaping and associated works - APPEAL DISMISSED 24/5/2021.
- 4.12 20/00520/FUL - Retention of existing sales cabin and landscaping (approved under 1402201FUL) to support the consented development (approved under 1300679FUL) for a temporary period of 9 month- Permitted 11.06.2020.
- 4.13 22/00951/FUL - Full planning application for the erection of 3 dwellings, parking, landscaping and associated works – Refused 01/07/2022.
- 4.14 23/00016/ENFNOT for Appeal against 19/00302/ENBOC - Breach of conditions 4 (Soft Landscaping) and 12 (Ecological Enhancement) of 15/01700/S73 as amended by 17/02250/NMA – Awaiting Planning Inspectorate decision.

5. CONSULTATIONS

- 5.1 Brington and Molesworth Parish Council – 2 responses received:

Response dated 11th December 2023:

“Please can BMPC have confirmation that this planning application has been referred to the Cambridgeshire County Council Local Lead Flood? There is a complex mix of surface water flood issues at Hill Place / The Green. Please can all parties look at Neighbour Comments particularly from The Green households and their comments on surface water. Please ensure the applicant has covered all surface water issues in their FRA and Outline Drainage Strategy.”

Response dated 20th December 2023: No objections, subject to conditions. Summary Comments:

“Further to your letter of 23rd November 2023, Brington and Molesworth Parish Council (BMPC) have reviewed the planning documents 23/02123/FUL. BMPC has reviewed the applicants’ drawings, held a public meeting to understand parishioners’ views and therefore made the following recommendations:

The Parish Council notes that there is an outstanding Planning Inspectorate case — APP/H0520/C/23/3322025 regarding the land that forms part of this application. In normal circumstances, we would have liked to have reviewed the Planning Inspector’s findings before commenting, as some Hill Place residents believe this land should be an orchard as outlined in the original 2013 planning application (1300679FUL). However, we understand the frustration of many residents of Hill Place / The Green, that they want to see the estate completed without further delay and to a high standard as the original construction works.

In principle, BMPC is in favor of this application. The new layout of the three homes goes a long way to resolve many of the previous application issues. This application does help mitigate the loss of privacy at 14 and 16 The Green. We believe it is important that any fenestration is of adequate height to prevent loss of privacy, particularly whilst the tree belt takes time to mature. The Orchard Area and Area of buffer planting should be planted before the first occupation, with mature trees of adequate height to prevent loss of privacy.

BMPC is aware through conversation and neighbour letters published as part of the planning process, that both 14 and 16 The Green have suffered from surface water flooding in the past few years. 16 The Green highlights three occasions when the property has suffered water damage. Most recently in October 2023, surface water ingress into the house has damaged carpets. We would hope that the LPA and LLFA will work with the Applicant to resolve any surface water appearing within the gardens of particularly 14 & 16 The Green, along with any other property.

The Parish Council also notes the HDC Call for Sites application — cfs310 — Land West and East of Hill Place, Brington. Campbell Buchanan has applied for thirteen homes, eight plus five affordable. We hope in a spirit of goodwill to the village and particularly The Hill Place / The Green homeowners, that this application will now be withdrawn. BMPC would hope that the original offer by the senior management team of Campbell Buchannan at a public meeting in June 2022, to give this land to the Parish Council for community use, will be honoured.

Suggested Planning Conditions:
-3 year expiry

- Plans
- Materials
- Construction Hours
- Highway Maintenance
- Protection of footpath 29/9
- Finished Floor Levels (pre-commencement)
- Hard and Soft Landscaping (Pre-commencement)
- Surface Water run-off details (Pre-commencement)
- Drainage details (Pre-commencement)
- Removal of Permitted Development Rights
- Access Construction

5.2 Cambridgeshire County Council's Highway Authority – No objections and no recommended conditions.

5.3 Cambridgeshire County Council's Lead Local Flood Authority (LLFA) – Originally objected to the proposals due to lack of allowance for urban creep and consistency and clarity on plans. After a further consultation with additional information (Flood Risk and Drainage Strategy, EAS, Ref 2530/2019, Rev: F, dated 22nd March 2024, the LLFA provided the following summary comments:

“Based on the above document, the LLFA have no objection in principle to the proposed development. The above documents demonstrate that surface water from the proposed development can be managed through the use of permeable paving, swales and an attenuation basin, restricting surface water discharge to 2/s.

The LLFA is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site it also provides clear quality treatment which is of particular importance when discharging into a watercourse. The swale and attenuation basin also provide biodiversity benefits.

Water quality has been adequately addressed when assessed against the Simple Index approach outlined in the CIRIA SuDS Manual.

Recommended conditions:

- Detailed design of Surface Water Drainage to be submitted to and approved in writing by the Local Planning Authority and shall thereafter be maintained and managed in accordance with the approved management and maintenance plan to ensure adequate drainage and to ensure that there is no increased flood risk on or off the site.

- Pre-commencement additional surface water run-off avoidance during construction to be submitted to and approved in writing by the Local Planning Authority to ensure surface water is managed appropriately during the construction phase.

Recommended informatives:

- Neighbour concerns relating to internal property flooding.
- Ordinary Watercourse consent.
- Pollution Control.

- 5.4 Huntingdonshire District Council's Environmental Protection Officer – No objections and no recommended conditions. Summary Comments:

"I note there is a tennis court in close proximity, however I can see there is another property at a closer distance and the main play area and play equipment is located beyond the tennis court at a greater distance. There does not appear to be any floodlighting associated with the tennis court and looking at the land gradient it appears the tennis court is cut into the ground, effectively bunding the area. I therefore have no issues to raise."

- 5.5 HDC Trees Officer -No objection subject to a condition to ensure tree protection is undertaken in accordance with submitted plans.

- 5.6 Huntingdonshire District Council's Urban Design Team – OBJECTS. Summary comments:

"The proposal would significantly harm the character and appearance of the area in conflict with HLP Policies LP2, LP9(c), LP11, LP12 and LP32 through the erosion of the planned orchard land as amenity land for the wider development, and would erode the spatial separation of Hill Place and The Green through infilling adjacent to the rural countryside edge with development, and segregation of part of the orchard land with fencing and artificial ground levels. The proposal is also contrary to the HDC Design Guide 2017 section 1.6 Design Principles, 3.6 Landscape, and 3.7 Building Form, and gives rise to unacceptable overlooking from plot 3 to the rear garden of 16 The Green, contrary to HLP Policy LP14(b)."

- 5.7 Cambridgeshire County Council's Definitive Maps Team – Objects to the proposals, Summary Comments:

"Proposed Site Plan 2018 -38-20k shows a 'footpath' and it does not show the alignment of the public footpath within the site. We note that the proposed shared access road to all 3 dwellings will cross the public footpath which means the applicant is proposing to change the surface of the public footpath. It is not clear from the documents submitted whether the applicant also proposes to change the surface of the public footpath in any other locations within the site. We ask that the applicant clarifies this.

All proposals that would involve a change to the surface of any part of a public right of way in Cambridgeshire are now required to follow an authorisation process. The new process applies to all landowners and scheme promoters, both internal and external to the County Council, where it would involve change to the surface

of an existing right of way. Promoters are expected to consult statutory user groups and key stakeholders, and they are strongly encouraged to complete and submit the form prior to submitting planning applications, in order to avoid objections and to help to facilitate the smooth processing of applications.

To view the guidance and the authorisation form, please refer to the County Council's webpage 'Rights of Way' which can be found here - [Rights of way - Cambridgeshire County Council](#).

The County Council has not received a completed authorisation form, and so authorisation from the Assistant Director Highways Maintenance has not been received to the change of surface proposals. As a result, the Definitive Map team is not currently able to provide a response to the change of surface proposal within this planning application.

The Definitive Map team therefore **object** to the change of surface proposal as this work is required to enable the County Council to provide its fully considered response.

The application is also proposing 'new estate fencing' between the Orchard Area and the public footpath and 'indicative new tree planting' such as between plots 1 and 2 and the public footpath. The proposed fencing and planting will need to be set back from the boundary in accordance with the County Council's boundary policy which is available to view in the guidance for planners and developers document available here [Public Rights of Way - Guidance for Planners and Developers v4 \(cambridgeshire.gov.uk\)](#).

Should you be minded to grant planning permission, the County Council's Definitive Map Team requests the following conditions be applied to any permission granted.

- No fencing shall be erected on or within 0.5m of the current or any proposed public rights of way.

Reason: In the interests of the amenity of the public.

- No planting shall be erected on or within 2m of the current or any proposed public rights of way.

Reason: In the interests of the amenity of the public.

Please can you also include the following informatives

- Public Footpath No. 9, Brington and Molesworth must remain open and unobstructed at all times. Building materials must not be stored on Public Rights of Way and contractors' vehicles must not be parked on it (it is an offence under s 137 of the Highways Act 1980 to obstruct a public Highway).

- The Public Footpath must not be used to access the development site unless the applicant is sure they have lawful authority to do so (it is an offence under S34 of the Road Traffic Act 1988 to drive on a Public Footpath without lawful authority)
- No alteration to the Public Footpath's surface is permitted without our consent (it is an offence to damage the surface of a public footpath under s 1 of the Criminal Damage Act 1971).
- Landowners are reminded that it is their responsibility to maintain boundaries, including trees, hedges and fences adjacent to Public Rights of way, and that any transfer of land should account for any such boundaries (s154 Highways Act 1980).
- The granting of planning permission does not entitle a developer to obstruct a Public Right of Way (Circular 1/09 para 7.1).
- Members of the public on foot have the dominant right of passage along the public footpath; private vehicular users must 'give way' to them.
- The Highways Authority has a duty to maintain Public Rights of Way in such a state as to be suitable for its intended use. (S41 Highways Act 1980 and S66 Wildlife & Countryside Act 1981). If the surface of the Public Footpath is damaged as a result of increased motorised vehicle usage, the Highways Authority is only liable to maintain it to a Public Footpath standard. Those with private vehicular rights will therefore be liable for making good the surface of the Public Right of Way.

Furthermore, the applicant may be required to temporarily close public rights of way whilst construction work is ongoing. Temporary Traffic Regulation Orders (TTROs) are processed by the County Council's Street Works Team and further information regarding this can be found on the County Council's website at <https://www.cambridgeshire.gov.uk/residents/travel-roads-and-parking/roads-and-pathways/highway-licences-and-permits/>.

5.8 HDC Affordable Housing Officer – Objects due to the lack of affordable housing provision.

5.9 HDC Open Spaces Officer – No response.

6. REPRESENTATIONS

6.1 24 third party neighbour comments were received, comprised of 19 letters of support and 5 letters of objection. All third-party responses are available to view on HDC's Public Access Site.

6.2 In summary objections received relate to:

- Concern that the proposal represents cramped development.

- Concern that the developer would be in breach of their Biodiversity Net Gain obligations, should planning permission be given.
- Developer should plant / deliver the buffer zone / orchard as set out in the previous planning permission.
- The area should be landscaped according to previous plans and planted as an orchard area which would benefit the environment as well as the residents.
- Concern that the proposed trees would be implemented to the area between the new properties and Nos. 12 and 14 The Green.
- Overlooking to Nos. 12 The Green and 16 The Green.
- Developer needs to rectify the surface flooding caused by dumping spoil to the rear of 12 The Green, 14 The Green, 16 The Green and The Hill Place House which has raised the ground levels.
- Concern that the proposal would increase flooding to 12 The Green, 14 The Green, 16 The Green and The Hill Place House as there is a slope into these dwellings' rear gardens.

6.3 In summary letters of support received relate to:

- The proposal will finish the development in a realistic way to the high aesthetic standard we currently enjoy / is currently wasteland and an eyesore
- The proposed houses are unobtrusive and in keeping with the wider development
- The Proposal will improve security and privacy.
- The proposal will acceptance of this plan will make this large area of ground more practical to maintain and therefore more affordable for residents.
- The upgraded drainage system will benefit the village as a whole by slowing the natural geographical downhill flow of water into the lower part of the village in times of heavy rain fall.
- Maintenance costs would be lower with a smaller orchard area.
- The proposal would allow for green spaces and ecological benefits to be delivered.
- A 2023 village survey of the residents of The Green & Hill Place was undertaken. Of the 55 properties, (this figure disregards one empty property), we achieved a 65% response. Of those responding, 91% were in favour of a 3-house development + orchard area on the application site.
- The proposal appears to accord with National Planning Policy Framework paragraph 130.
- Support subject to flooding risks being addressed.

7. ASSESSMENT

7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in

order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as “the development plan documents (taken as a whole) that have been adopted or approved in that area”.
- 7.3 In Huntingdonshire the Development Plan (relevant to this application) consists of:
- Huntingdonshire’s Local Plan to 2036 (2019)
 - Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)
- 7.4 The statutory term ‘material considerations’ has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

Background

- 7.5 Officers feel it necessary to do a detailed background section before the main assessment part of the application, given the complex history of the site and to highlight the main issues impacting the proposal.
- 7.6 The original wider site incorporated a former MOD site, with a former sewage works / open countryside to the south, with the current site comprising central land part of a wider orchard as approved under application 1300679FUL which approved the “Erection of 56 dwellings, (including 12 affordable units), following demolition of 40 existing dwellings, access and landscaping works and formation of public open spaces” approved in 2014. The application was submitted and assessed in-part (the 16 units on the southern section of the wider site) as a Rural Exceptions Site, delivering 12 affordable housing units and 4 market housing dwellings.
- 7.7 This central land on the development, which is subject to this current proposal was to be retained / planted as an open space / orchard with dwellings to the north and south, which was secured by a Section 106 legal agreement which set out at paragraph 1.6.6

that: *“prior to the occupation of the last residential unit on Area One, the Owner shall provide and make available for use the multi-use games area, children’s play space, orchard land and open space within Area One”*. The central area within the development, was largely bound by hedgerows / planting, being undeveloped land and did not contain the MOD dwellings which was to the immediate north.

- 7.8 A second deed of variation was signed on 5 February 2016 following 15/17000/S73, which inserted the following as a new paragraph 1.6.7: *“The following variations shall be made to the First Schedule to the Principal Agreement (as varied by the First Deed of Variation):- (iii) The insertion of a new paragraph 1.6.7 to read as follows: “Not to Occupy more than 50% (fifty per cent) of the Market Dwellings in Area Three until the orchard land within Area One has been made available for use”*.
- 7.9 However, it must be acknowledged that neither documentation defined what was meant by ‘orchard land’. As noted in the Officer Report for application 20/00012/FUL application which was determined on 17 August 2020 Development Management Committee (for six dwellings on the site), whilst the orchard land was not clearly defined in the S106, this orchard land is intrinsically linked to the wider planning permission itself and the plans approved under application references 1300679FUL, 15/00455/S73 and 15/1700/S73. It must also be noted by Members that as set out in the officer report for 20/00012/FUL, given the over provision of open space on the site as originally approved, was not deemed *necessary* (in terms of the statutory tests) to make the 2013 proposals acceptable in planning terms. However, it was proposed assessed and approved on the basis that the site under consideration under this current application as open space / orchard land.
- 7.10 Condition 4 of the parent 2013 planning permission set out the approach to soft landscaping and within the discharge of condition application submission dated July 2015 (application reference 1408243COND), where the site was annotated as an orchard with the inclusion of orchard trees. There was clear reference that planting would be carried out in the first planting season post commencement, along with details of the orchard planting. The approved Softwork Specification approved under the condition stated that “Planting within the development site to be carried out during the first available planting season following the construction works”. It is noted that to date, Campbell Buchanan have not planted the orchard on site.
- 7.11 Planning Application 15/00126/NMA approved an amendment to Planning Permission 1300679FUL to list approved plans as a condition of the original planning permission. 15/00455/S73 approved design amendments to Plots 1-14 and 50 (15 Units). Permission 15/01700/S73 added reinforcement boundary

treatment to the north of Plot 9 to plot 16. Permission 17/02250/NMA approved an amendment to bund and planting scheme for north and east of the development approved under 15/01700/S73.

- 7.12 In 2019 HDC's Enforcement team raised a Breach of Condition enforcement notice case (LPA ref:19/00302/ENBOC) against the developer against failure to comply with conditions 4 (Soft Landscaping) and 13 (Ecological Enhancement Measures of the permission 15/01700/S73 as amended by 17/02250/NMA to restore the original land levels (as a soil heap had been placed on site), implement the soft landscaping scheme and complete the orchard planting, which according to the officer report for 20/00012/FUL was agreed by the applicant to be carried out subject to determination of the 2020 application. This work has not been carried out. 19/00302/ENBOC is currently being appealed by the applicant (23/00016/ENFNOT) and is pending consideration and yet to be determined by the Planning Inspectorate.
- 7.13 HDC planning reference 20/00012/FUL was submitted for the erection of 4 new bungalows and 2 new chalet bungalows, visitor parking, landscaping and associated works on the site, filling most of the site central and eastern end of the orchard land with residential development. This application was refused by Members at July 2020 Planning Committee on the basis that the proposed development would result in the loss of a previously approved orchard that was to serve as a buffer in this prominent location upon entering the site. The reasons for refusal also included wider design concerns, residential amenity and omission of a signed Section 106 Agreement which would fail to deliver the required infrastructure and social benefits, specifically Affordable Housing, Orchard Land or Waste Management.
- 7.14 This refusal decision was appealed by the applicant (Planning Inspectorate reference APP/H0520/W/20/3262053) and was subsequently dismissed. This is explored in detail in proceeding sections of this report, however, worthy of note is that the Inspector includes in his conclusion that the loss of planned open space is a material factor in the dismissal.
- 7.15 Then in 2022, a further application was submitted to the Planning Authority (ref: 22/00951/FUL) for the erection of 3 dwellings, parking, landscaping and associated works on the planned orchard site. This 2022 permission was refused under delegated powers by officers on the basis of loss of planned buffer orchard and design, residential amenity, inadequate surface water drainage, omission of affordable unit and harm to trees, in line with the Council's Scheme of Delegation which allows officers to determine applications where the officers recommendation aligns with that of the Parish Council.

- 7.16 Therefore, the main issues to consider in the determination of this application are:
- Discussion of recent refusals and Planning Inspectorate Dismissal
 - Principle of Development
 - Design and Visual Amenity
 - Impact On Heritage Assets
 - Amenity
 - Highway Safety
 - Flood Risk and Surface Water
 - Biodiversity
 - Impact on Trees
 - Accessible and Adaptable Homes
 - Water Efficiency
 - Developer Contributions

Discussion of recent refusals and Planning Inspectorate Dismissal

- 7.17 A 2020 application 20/00012/FUL for “Erection of 4 bungalows and 2 new chalet bungalows, visitor parking landscaping and associated works”, on the eastern and central section of the orchard land separating the two areas of development was dismissed at appeal (LPA Reference 20/00039/REFUSL, dismissed on 24.5.2021). The Planning Inspectors report is a material consideration in the determination of the current application.
- 7.18 The current application overlaps in part with the appeal site and forms the western end of the central area of open space. Of particular note in the consideration of the current application are the following points identified by the Inspector:
- 7.19 Part of Para 6 of Inspectors report states:
- “The appeal site is currently planned to form part of this network of open space with the approved site layout plans showing the area as soft landscaping interspersed with trees. According to the Council, the area is intended to be a community orchard.”*
- 7.20 Part of Para 7 of Inspectors report goes on to state:
- “It does not follow however that the proposal is necessarily acceptable in principle because the site forms part of the planned landscaped context of the overall development and other policies apply.”*
- 7.21 Part of Para 8 of Inspectors report also states:
- “The village is thus not a single, concentrated built-up area but rather groups of housing separated by areas of undeveloped land. The appeal site, by separating Hill Place and The Green with an area of landscaped tree planting as planned, would complement*

the built form of the village whereas the proposal would create an unduly large continuous built-up area out of character with the rest of the village.”

7.22 Para 9 of Inspectors report continues:

“On approaching the Hill Place/The Green development from Brington Road the appeal site, once laid out, would form an attractive feature separating the two groups of houses, emphasising the rural, more dispersed built-up nature of the area rather than presenting as a single, relatively isolated housing estate in the countryside which would result if the site is infilled with more buildings. The site, once laid out, would also provide a pleasant route for the public right of way, an attractive outlook for Nos 45-53 Hill Rise and avoid a sense of built-up enclosure behind Nos 2-16 The Green. The overall concept of the development is of two high quality groups of housing set in extensive areas of open space within an overall rural setting and the proposal would unduly compromise this spacious layout.”

7.23 Para 11 of Inspectors report:

“The appellant argues that the overall scheme included an ‘overprovision’ of open space and thus the loss of the appeal site would be acceptable, a view shared by the Council’s operations team. However, the open space standard is not a maximum and a scheme may quite properly include a generous level of provision to improve its overall attractiveness and to be more in character with its rural setting as in this case.”

7.24 Para 13 of Inspectors report:

“For these reasons the proposal would significantly harm the character and appearance of the area in conflict with HLP Policies LP2, LP9(c), LP11, LP12 and LP32. These seek to protect the character of existing settlements, only allow development in the built-up area of Brington that protects the character of the immediate locality and the settlement as a whole, seek to ensure distinctive, high quality and well designed places, require proposals to successfully integrate with adjoining buildings and only allow the loss of an area of open space of public value where there would be no significant adverse impact on the character of the surrounding area.

7.25 The Inspector concludes in Paragraph 17:

“The proposal would provide six additional dwellings, including two affordable dwellings, which would make a useful contribution towards local housing needs and would offer social and economic benefits for the village. In addition, there would be a larger orchard and a net gain in biodiversity. However, these material considerations do not outweigh the adverse impact on the

character and appearance of the area as a result of the loss of the planned open space and tree planting, whether or not laid out as a community orchard, nor the resulting conflict with the development plan when considered as a whole.

- 7.26 It is noted that the most recent application 22/00951/FUL (Full planning application for the erection of 3 dwellings, parking, landscaping and associated works), was refused for a number of reasons including the following design reason below:
1. The proposed development of this site would result in the partial loss of a previously approved orchard that was to serve as a buffer in this prominent location upon entering the site and the proposed dwellings by reason of their form and position would be out of keeping and fail to successfully integrate with the surrounding development.
- 7.27 As stated in paragraph 7.12, It must be noted that there is a live appeal application 23/00016/ENFNOT for Appeal against 19/00302/ENBOC - Breach of conditions 4 (Soft Landscaping) and 12 (Ecological Enhancement) of 15/01700/S73 as amended by 17/02250/NMA. The appeal documentation can be found under Planning Inspectorate reference APP/H0520/C/23/3322025 and is yet to be determined.
- 7.28 The enforcement notice requires the applicant to:
- (i) Restore the Land to its original levels as shown on drawings CL01 and CL03 submitted on 30th October 2014 under reference 1408243COND and complete all soil preparation according to the soft landscaping scheme approved under Condition 4 of Planning Permission 15/01700/S73 as amended by 17/02250/NMA.
 - (ii) Complete all planting on the Land in accordance with the soft landscaping scheme approved under Condition 4 of Planning Permission 15/01700/S73 as amended by 17/02250/NMA.
 - (iii) Complete planting on the land to the rear of plots 9-16 as shown on drawing 317-02 received on 4th February 2015 under reference 1408243COND approved under Condition 13 of Planning Permission 15/01700/S73.
- 7.29 The appeal relates only to part i of the enforcement notice. At the time of writing this report, this appeal has not been decided by the Planning Inspectorate.

The Principle of Development

- 7.30 The wider development for the 56 dwellings known as Hill Place and The Green is now regarded to be located within the built-up area of Brington, which the adopted Huntingdonshire Local Plan to 2036 identifies as a Small Settlement. This acknowledged within the previous officer and Planning Inspector reports for residential development on the site (namely 20/00012/FUL and associated appeal determination alongside the most recent 22/00951/FUL

application). As such, Policy LP9 is considered relevant in determining whether the principle of development is acceptable.

7.31 Policy LP9 of the adopted Local Plan states that *'a proposal that is located within a built-up area of a Small Settlement will be supported where the amount and location of development proposed is sustainable in relation to:*

(a) the level of service and infrastructure provision within the settlement;

(b) opportunities for users of the proposed development to access everyday services and facilities by sustainable modes of travel including walking, cycling and public transport and

(c) effect on the character of the immediate locality and the settlement as a whole.'

7.32 Comments in support of the proposal in principle from neighbouring dwellings and Brington and Molesworth Parish Council relating to local desire for the proposal to be implemented to complete the wider development given that the land continues to be undeveloped are noted. However, this does not mean that development contrary to local and national policy would be acceptable in this case. A thorough assessment of the proposal is provided in the proceeding sections of this report.

7.33 With regard to Parts a. and b. of Policy LP9, it is recognised that there are available services and facilities in Brington to meet this criteria, including All Saints Church and Brington C of E Primary School and Public Right of Way footpaths 29/9 and 29/32 and other various bridlepaths and footways linking the village to a number of surrounding villages. Therefore, the proposal is considered broadly sustainable with regards to the accessibility to services, facilities and infrastructure.

7.34 In regard to criterion (c), which considers the *effect on the character of the immediate locality and the settlement as a whole*, given the recent appeal decision on the site, the effect on the character of the immediate locality is discussed below under Design, Visual Amenity and impact upon the Character of the Area section of the report, and in summary is considered to be unacceptable. The proposal fails to meet the criterion (c) of Policy LP9 of the Local Plan. The principle of development is therefore considered to be unacceptable for the reasons below.

Design, Visual Amenity and impact upon the Character of the Area

7.35 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the

area's character and identity and successfully integrates with adjoining buildings and landscape.

- 7.36 Additionally, Policy LP32 of the Local Plan (Protection of Open Space) supports proposals that would lead to the whole or partial loss of an area of open space of public value where there would be no significant adverse impact on the character of the surrounding area, and the loss is minimised where possible and compensatory measures are put in place that provide a net benefit to the community that is served by the space, which will be judged in terms of availability, accessibility, quality and quantity.
- 7.37 Section 12 of the NPPF (2023) seeks to achieve well designed places, noting that the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development.
- 7.38 The National Design Guide (2020) sets out the characteristics of well-designed places and demonstrates what good design means in practice. It covers the following: context, identity, built form, movement, nature, public spaces, uses, homes and buildings, resources and lifespan. Of particular note to the current proposals is guidance relating to design and how this understands and relates well to the site within its local and wider context, how the history of the place has evolved and that local sense of place and identity are shaped by local history, culture and heritage, how a proposal responds to existing local character and identity, whether proposals are well designed, high quality and attractive and whether they are of an appropriate building type and form.
- 7.39 The HDC Design Guide (2017) is relevant to the application proposals, in particular chapter 4 and sections 3.7 and 3.8. The guide states that the size, shape and orientation (the form) of a building can have a significant impact upon its surroundings. The form of new buildings should generally reflect traditional built forms found in Huntingdonshire. The scale, massing and height of proposed development should be considered in relation to that of adjoining buildings, the topography, pattern of heights in the area and views, vistas and landmarks.
- 7.40 It is acknowledged that letters of support have been received from neighbouring dwellings and Brington and Molesworth Parish Council stating that the proposal would be an improvement of the existing site, with the proposed dwellings in-keeping with the wider development, allowing a green space to be delivered and allow for ecological provision.
- 7.41 It is also acknowledged that third parties including Brington and Molesworth Parish Council (BMPC) have raised concerns relating to the design and implementation of previous approvals including concern that the proposal represents cramped

development, and that the area should be landscaped according to previous plans (including levels) and planted as an orchard area which would benefit the environment as well as the residents. BMPC have explicitly expressed that the proposal is only acceptable subject to all planting being completed before first occupation, which should be secured within a hard and soft landscaping condition, alongside conditions securing confirmation of levels and contours and materials.

- 7.42 The application site forms part of the linear central public open space secured as part of the previous 1300679FUL planning permission as noted above.
- 7.43 The formation and layout of the open space within the development reinforces the settlement pattern of Brington which is sporadic and interspersed resulting in a natural and organic rural character and appearance of the area. The 20/00012/FUL application, subsequent appeal and later 22/00951/FUL proposals were refused on the grounds that the loss of the open space would erode this character by undermining the original design rationale resulting in significant harm.
- 7.44 As outlined in the previous application on site (22/00951/FUL), on approach into the wider development, the existing area of open space provides an uninterrupted vista across the open space, to the open countryside beyond to the west and provides a clear distinction between the two groups of housing known as Hill Place to the north, and The Green to the south, that make up the wider development. The provision of additional dwellings at the western end of this area of open space adjacent to the countryside would interrupt this important vista and openness and reduce the actual and perceptible gap between the two areas of development to the detriment of the character and appearance of the area.
- 7.45 Given the similarities in the previously refused scheme and this current proposal, this assessment remains valid. Therefore, in this regard, the previous reason for refusal and the concerns raised by the Inspector in dismissing the appeal have not been considered to be overcome or be sufficiently addressed. It is also noted that there is a vista across the central open space from the western end and edge of the site adjacent to the Public Right of Way. This vista to the east connects with the countryside along Brington Road.
- 7.46 Overall, the proposal is regarded to result in an adverse impact on the character and appearance of the area due to the loss of the planned open space and tree planting irrespective whether or laid out as a community orchard or not as well as the development site forming part of the public open space secured as part of previous planning permission reference 1300679FUL. The proposed development would erode this separation of the two distinct groups of dwellings and create the joining and coalescence of the

two groups of dwellings at the western end of the wider site. In addition, the development at the western end of the site and the enclosing of part of the open land to the west / side of 16 The Green would further erode the spacious character at the western edge of the wider site generally which connects the central open space (the subject of this application) with the open space to the side 16 The Green and the feature public open space within The Green and associated play equipment towards the western edge. This area of open space provides a buffer to the built development within the wider site and the countryside to the west which provides contains a Public Right of Way adjacent (footpath 29/9). Development on this land would be incongruous to the wider development.

- 7.47 The development of the central area of land within the 2013 application would sever the undeveloped land from the countryside beyond to the east and west of the wider site.

Layout relating to plots 1-3

- 7.48 In comparing the Proposed Site Plan with the Proposed Site Plan as submitted in the previous application, it is noted that the siting and layout remain the same.
- 7.49 Plot 1 fronts the proposed new orchard to the east, and Hill Place to the north with an access drive to the west also serving plots 2 and 3, with the garage to plot 1 located to the rear. The proposed side elevation of the garage will be visible from the shared drive of the plots / and public footpath from Hill Place to the north. It is also noted that the western gable is only a minimum of 1m to the private drive which limits separation / landscaping and boundary treatments.
- 7.50 Plot 2 is approximately 1.5m from the proposed boundary with the adjacent public right of way to the north which enters the site from the countryside to the west. Plot 17 on Hill Place, further to the north has a greater separation distance to the path of a minimum of approximately 3.2m. The proposed dwelling is cramped in comparison and erodes the spacious character of the area when entering the site from the west via the public right of way.
- 7.51 In addition, the northern elevation illustrates a utility door on the northern gable. The proposed Planting Plan does not illustrate the path connecting to the utility door, just an area of plants adjacent to the side gable. Notwithstanding this point, it is questioned if there is sufficient space for a path to the side of the dwelling and soft landscaping to the proposed boundary. Beyond to the side gable, a 1.8m close board fence is proposed parallel to the public right of way along the side of the plot. This is set back from the public right of way by approximately 0.84m. To the front of the fence is soft landscaping. It should be noted that this does not comply with the proposed condition from Cambridgeshire County

Council Definitive Map team who have requested “No planting shall be erected on or within 2m of the Public Right of Way“. On this basis the proposed side boundary and soft landscaping arrangements conflict and an alternative arrangement would be required to create the 2m separation from the public right of way should the application be approved.

- 7.52 Plot 2/3 contain a shared quadruple width drive with a large expanse of hard surface, accessed via the private drive serving the garage of plot opposite.
- 7.53 Plot 3 is located to the north of the existing MUGA and is proposed to be separated by soft landscape planting.
- 7.54 The approved but not yet implemented pedestrian path linking Hill Place to The Green adjacent to the MUGA / children’s play area across the orchard has not been constructed as approved by application 1300679FUL. The route is proposed within the new proposals, albeit adjacent to a driveway and residential development, rather than through the approved open orchard and moved further to the west away from plot 9 under the original approval. The public route connecting both parcels of residential development is now proposed through a residential development, rather than the landscaped orchard, which changes the character and sense of separation between the two groups of development.
- 7.55 It should also be noted that due to the proposed enclosure of open space to the west and north of No 16 The Green with 1.8m high close boarded fencing, that there is no direct view across nor open space in the site which connects Hill Rise to The Green and vice versa along the footpath. This does not aid in the creation of high quality placemaking, or in terms of legibility of the wider site.
- 7.56 The approved soft landscaping to the central orchard area approved under application 1408243COND – C4 – soft landscape scheme utilised all of the land between Hill Place and the rear of dwellings on The Green and Hill Place.
- 7.57 Application 15/01700/S73 was granted which included ‘variation of condition 4 (soft landscaping) to allow for reinforced planting along the boundary of plots 9-16’. ‘Detailed Planting Plan - boundary reinforcement’ (drawing 317-04) submitted 9.10.15.
- 7.58 Condition 2(v) of application 1408243COND agreed ‘finished floor levels and threshold details and levels of roads, gardens, paths and gradients’. The spot levels for the orchard land are illustrated on the approved plans (Phase 1 External Works General Arrangement Plan – 131406-CL01 Rev P7, and Phase 2 External Works General Arrangement Plan Sheet 2 of 2 – 131406-CL02 Rev P4. This illustrates a gradual fall from Hill Place to the north across the orchard land to the south where the rear gardens of plots 9-16 are located.

- 7.59 It is noted under the previous application 22/00951/FUL that an Existing Site Topo plan has been submitted with the current application drawing MGL 24/07/2019, this illustrates notable engineering works on the orchard land compared to previous site levels. Essentially the site has been artificially levelled to provide a flat area fronting Hill Place to the north, with a steep embankment being created to the south backing onto dwellings to The Green which is part of enforcement appeal. As a result an artificial steep embankment down to the rear garden boundaries of dwellings on The Green has been created with higher ground levels at the top of the bank than originally approved.
- 7.60 The Inspectors comments (para 16) under application 20/00012/FUL that with suitable landscaping of the area to the rear of The Green together with suitable site management there is no reason why there is security and potential antisocial behaviour concerns. The proposal to fence off (with 1.8m close boarded fence) the embankment reduces the area of the site originally intended for the orchard, and it is noted that under the previous S73 application 15/01700/S73 that additional landscaping was permitted. This was without boundary treatments segmenting the land. A fence (indicated as 1.8m in height on drawing 2018/38-28b Proposed Site Sections and as a 1.8m close boarded fence on drawing 2018/38-20k Proposed Overall Site Plan) results in this space being excluded from the wider POS land of the original orchard.
- 7.61 The steep gradient has been artificially created. If the site was regraded with a more natural slope (as previously existed on the site) the requirement to fence off this area would be omitted. The western end of the proposed 1.8m close boarded fenced area adjacent to the footpath link to the MUGA has limited / if any soft landscaping to soften it, creating an incongruous feature. Such a feature around the open landscaped side and rear of plot 9 The Green would also reduce the visual separation of Hill Place and The Green. The open character of the site would be eroded which is detrimental and unacceptable.
- 7.62 A hard and soft landscaping plan has been submitted which provides details of soft landscaping to the plots and the orchard land, as well as boundary treatments. The dwellings are proposed to be bound by 1.8m high close boarded fencing to the side and rear boundaries. There is concern that there are prominent areas of fencing without sufficient soft landscaping to screen them, notably to the west of plot 1 and the fenced off area of public open space adjacent to 16 The Green.

Dwellings

- 7.63 Plot 1 – is a single storey thatched cottage located on a prominent position. The western gable which fronts the private shared drive

and pedestrian link, does not contain a ground floor window(s) to provide surveillance over the drive / public footpath and break up the blank public gable.

- 7.64 Plot 2 – is designed as a corner turning dwelling, with a frontage to the private drive facing east, and a second frontage to the north adjacent to the Public Right of Way. The front elevation is unbalanced with different brick proportions between openings / end of the dwelling and creates an unbalanced composition of openings on the front elevation, it is noted that there are similar dwellings however on the wider development. No surveillance is provided over the drive which is essential for surveillance and also important to breakup the brick mass given the wide quadruple driveway width proposed.
- 7.65 Plot 3 – this dwelling has been redesigned (from application 22/00951/FUL) to remove overlooking to 16 The Green (plot 9) to the east through the removal of 2 of the 3 proposed first floor opening on the eastern elevation, retaining 1 dormer style window through the eaves line. Whilst there are similar building on the wider development, these contain 2 /3 dormer windows. The appearance of the dwelling is now roof heavy. No surveillance is provided over the drive which is essential for surveillance at ground floor given the wide quadruple driveway width proposed with plot 2.
- 7.66 The garages satisfy the requirements from the Hunts Design Guide and can accommodate cycle storage.
- 7.67 Details of bin collection or storage have not been provided, however could be secured via condition upon any approval.
- 7.68 Although the proposal seeks a reduction in dwellings (from 6 in the 20/00012/FUL application) to three (22/00951/FUL application), the reasons for refusal in these applications, as well as the Planning Inspectorate's decision on the 22/00951/FUL application are a material consideration in the determination of this current scheme.
- 7.69 The principle of development is therefore considered to be unacceptable in terms of the impact to the *effect on the character of the immediate locality and the settlement as a whole.* and therefore the proposal fails to meet the criterion (c) of Policy LP9 of the Local Plan. Notwithstanding the conflict with LP9 part c, in relation to the principle of development on the site, HDCs Urban Design Officer has considered the proposals regarding the proposed layout, design and landscaping of the scheme and raised concerns as detailed above.
- 7.70 The proposal would significantly harm the character and appearance of the area in conflict with HLP Policies LP2, LP9(c), LP11, LP12 and LP32 through the erosion of the planned orchard

land as amenity land for the wider development, and would erode the spatial separation of Hill Place and The Green through infilling adjacent to the rural countryside edge with development, and segregation of part of the orchard land with fencing and artificial ground levels. The proposal is also contrary to the HDC Design Guide 2017 section 1.6 Design Principles, 3.6 Landscape, and 3.7 Building Form, and gives rise to unacceptable overlooking from plot 3 to the rear garden of 16 The Green, contrary to HLP Policy LP14(b). The proposal would therefore have an unacceptable effect on the character of the immediate locality and the settlement as whole, contrary to criterion (c) of Policy LP9 Huntingdonshire Local Plan. Subsequently, the principle of development is not supported.

Impact on Heritage Assets

- 7.71 The proposal does not fall within any designated Conservation Area but is approximately 250 metres north of All Saints Church which is a Grade II* Listed Building.
- 7.72 Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 7.73 Paras 195 - 204 of the NPPF provide advice on proposals affecting heritage assets and how to consider different levels of harm. Para. 206 states 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'. Local Plan Policy LP34 aligns with the statutory provisions and NPPF advice. It is also noted that Local Plan Policy LP2, which sets out the overarching development strategy for Huntingdonshire through the plan period, includes the main objectives of conserving and enhancing the historic environment within the district.
- 7.74 Paragraph 205 of the NPPF (2023) sets out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'. Paragraph 206 states that 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.'

- 7.75 As set out in the previous application for three dwellings on the site (22/00951/FUL), due to the distances and the scale of the proposed additional development within the wider site, it is not considered that any harm would befall the setting of this listed building and it is considered consequently that its heritage significance is preserved.
- 7.76 The proposal therefore complies with Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Paragraphs 195-214 of the National Planning Policy Framework 2023 and Policies LP2 and LP34 of Huntingdonshire's Local Plan to 2036.

Amenity

- 7.77 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.

Public Right of Way

- 7.78 It is acknowledged that the site includes a designated Public Right of Way (footpath 29/9) to the northern boundary which then runs south abutting the western boundary where it meets Bridleway No. 29/10, and splits southwards and westerly to Catworth Village.
- 7.79 Brington and Molesworth Parish Council have suggested a condition requiring that Brington and Molesworth public footpath 29/9 is protected and remains available for the public to use at all times during and after the development.
- 7.80 The Cambridgeshire County Council's Public Rights of Way Officer (PRoW) was formally consulted on the proposals and raised an objection as the proposed Site Plan fails to show the alignment of footpath 29/9, noting that the proposed shared access road to all 3 dwellings will cross the public footpath, indicating that the applicant is proposing to change (at least part-way) the surface of the assigned public footpath. Clarification was therefore sought as changes of surfacing of footpaths are subject to a formal process which includes consultation. The PRoW team state that no application to begin this process had been received, but nevertheless recommend conditions and informatives be applied to any consent given to the application, *in the interests of the amenity of the public*, including fencing and planting siting. A number of informatives are also recommended, as provided in Chapter 5 'Consultations' section of this report (specifically paragraph 5.7).
- 7.81 Over the course of the application, in response to this consultation comment from the PRoW team, the applicant confirmed to the Local Planning Authority that a change of surface authorisation request has been submitted to Cambridgeshire County Council.

Comments regarding the relationship of the side boundary of plot 2 and the PRoW are addressed above under paragraph 7.53.

- 7.82 Therefore it is considered that the proposal would have a satisfactory impact to the Public Right of Way and subject to conditions and informatives recommended by the PRoW team which align with the Parish Council's suggested condition, would meet the overall aims and objectives of Policy LP14 and LP16 (which encourages sustainable travel modes) of the Huntingdonshire Local Plan (2019) in this instance.

Residential Amenity

- 7.83 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.84 It is acknowledged that the previous 20/00012/FUL (for six dwellings on the site) and 22/00951/FUL (for three dwellings on the site) were both refused on residential amenity issues relating to overlooking resulting from the higher levels of land on the site compared to the lower levels to the south. While the current application seeks to remedy overlooking concerns, concern remains regarding overlooking impacts between Plot 3 and 16 The Green (annotated as Plot 9 on the submitted 'Proposed Overall Site Plan, DWG: 20k).

Amenity for future occupiers

- 7.85 Having regard to the amenity of future occupants of the proposed dwellings, all Plots would all be served by private amenity space in the form of private garden areas and bin and cycle stores areas would be located in suitable locations so to not impact unduly upon neighbouring amenity.
- 7.86 The internal floor area (GIA) of Plot 1 would be 157 sqm, comprised of a 2-bedroom, 4 person dwelling, exceeding the 70 sqm requirement for single storey dwellings. Plots 2 and 3, which would be 183 sqm GIA, comprising 4-bedroom, eight person dwellings would also exceed the requirement as set out the Nationally described space standards (NDSS) of 124 sqm. The proposal therefore accords with NDSS. Accordance with the NDSS is not a policy requirement within the Huntingdonshire Local Plan to 2036 but provides some context in terms of living space. In this instance, the proposed internal space is considered appropriately functional and acceptable such that future occupiers would experience a good standard of amenity in this regard.
- 7.87 The Council's Environmental Health Officer has been consulted on the impact of the proposed separation relationship between the mixed use play area (MUGA) and Plot 3 to the north in terms of

potential noise and disturbance, which at its closest is approximately 7.5m to the southern gable. This falls below the Fields in Trust Guidance of 30m minimum separation between the actively zone and boundary of the nearest dwelling.

- 7.88 However, the Environmental Health Officer accepts that there is another property at a closer distance to Plot 3 and the MUGA, with no floodlighting associated with the tennis court and considering the land gradient, it appears the tennis court is cut into the ground, effectively bunding the area. Consequently the Environmental Health Officer raises no issues with the distance of the MUGA and the proposed residential dwellings and can therefore have no issues to raise.
- 7.89 It can therefore be concluded that the proposal is acceptable in terms of impact to future occupiers of the three dwellings.

Amenity of neighbouring properties

- 7.90 Reason 2 of refusal application 22/00951/FUL related to significant overlooking from plot 3 to the rear of 16 the Green (formerly plot 9). This reason was worded as follows:

“Due to the topography of the site with levels sloping down to the south, the proposed development would result in significantly harmful overlooking from the front elevation windows of plot 3 causing a loss of privacy to the private garden area of no 16 The Green. The tree planting proposed along the linear orchard to the south of the proposed dwellings would not sufficiently mitigate against the harmful overlooking which has been identified. The proposal would therefore be contrary to policy LP14 (b) of Huntingdonshire’s Local Plan to 2036 (2019), the guidance of the Huntingdonshire Design Guide Supplementary Planning Document (2017) and the National Planning Policy Framework 2021 particularly paragraph 130(f) and part H1 of the National Design Guide (2019), all which seek a high standard of amenity for existing and future place users.”

- 7.91 The Huntingdonshire District Design Guide at page 143 sets out guidance on overlooking, stating that: ‘A general rule of thumb of 21m distance between properties ensures privacy for residential use.’
- 7.92 The proposed plan indicates a 1.8 metre-high close-boarded timber fencing separating the proposed area of buffer and screen planting running east-west of the site and forming the rear and eastern side garden boundary of Plot 1, which would form a back-to-back arrangement with Nos. 12-16 The Green to the south.
- 7.93 It is acknowledged that Nos. 12 and 16 The Green have raised concern with overlooking and the impact that the proposed trees to the area between the new properties and Nos. 12 and 16 The

Green. Brington and Molesworth Parish Council (BMPC) have expressed that the proposed design amendments help mitigate the loss of privacy at 14 and 16 The Green, accepting that fenestration must be acceptable and that the proposed tree belt takes time to mature. Subsequently, BMPC put forward that that a condition that the Orchard Area and Area of buffer planting should be planted before the first occupation, with mature trees of adequate height to prevent loss of privacy and a construction hours condition to maintain residential amenity.

- 7.94 It is notable that Plot 3 has been amended with a different internal room configuration and only contains 1 front dormer window to the roof, rather than 3 as previously proposed within the 22/00951/FUL application. A sectional drawing has also been provided showing the relationship of Plot 3 and the rear garden of 16 The Green, however, no finished floor / ground levels are illustrated on this drawing that fully demonstrates the precise floor or ground levels within this part of the site. It is acknowledged, however that the first floor front dormer would be approximately 15 metres from the private rear amenity area of No.16 The Green and approximately 20.6 metres from No.14 The Green.
- 7.95 The positions of Plots 2 and 3 as proposed would be orientated so that the front elevations would have an easterly aspect towards to side boundary of 14 and 16 (plots 9 and 10) The Green. The distance and oblique relationship between the existing dwellings and plot 2 would not give rise to any opportunity for unacceptable overlooking, overbearing or result in a loss of privacy. Similarly, it is not considered that the relationship with plot 17 to the north would result in any harm to amenity for either the existing or future occupiers. Furthermore, the relationship between plots 1 and 2 would not give rise to any unacceptable overlooking or overbearing.
- 7.96 The Plot 3 section drawing illustrates that the high-level roof lights on Plot 3 will give a view of the sky. Whilst not illustrated on the section, overlooking onto the rear amenity area of No. 16 The Green from the first-floor dormer window serving Plot 3's landing will occur (but could be mitigated by being obscurely glazed). This could be secured by condition in the event an approval decision is made on the proposals, however given the height difference in levels on the site compared to the lower-set existing dwellings on The Green, there are concerns that Plot 3 could also cause overlooking from the front-facing ground floor windows of Plot 3.
- 7.97 Overlooking from the ground floor front habitable rooms of Plot 3 is proposed to be prevented through the siting of a 1.8m fence located between the footpath and the area of public open space to the west and northern side of 16 The Green. There is a significant difference in levels between the dwellings and as detailed in the above design and visual amenity section above (paragraph 7.61) the principle of the erection of a fence enclosing

the area of public open space to the side of 16 The Green is unacceptable and is unsupported.

- 7.98 As such, should the proposal be approved without the 1.8 metre closed-barded fence, overlooking from the ground floor rooms of plot 3 to the rear amenity space of plot 9 (16 The Green) will result and is regarded as unacceptable. Whilst it is acknowledged that some intervening on and off-plot vegetation will provide some screening, this would not be sufficient as to avoid an unacceptable loss of privacy to the occupiers of no 16 The Green.
- 7.99 It is also noted on the section the relationship between Plot 1 and the dwelling at No.16 The Green to the south. The nearest back-to-back distance would be 33m, in excess of the minimum 21m guidance contained within the Design SPD. however, the difference in levels is a significant concern, with the site being significantly higher than the existing dwellings on The Green.
- 7.100 The position of Plot 1 would result in a back-to-back arrangement with Nos. 12-16 The Green. The nearest back-to-back distance would be 33m, in excess of the minimum 21m guidance contained within the Design SPD. Having regard for the change in ground levels (approx. 2m), this is still considered be an adequate distance to protect existing residents within The Green from unacceptable overlooking or overbearing impacts given the planted tree belt would also, in the longer term lessen any impact further. It is not considered that any other existing or proposed dwellings would be harmed in terms of residential amenity as result of the scale or layout of plot 1.
- 7.101 While there are no concerns regarding future occupiers of the proposed dwellings on the site, given the above overlooking concerns between Plot 3 and No.16 The Green to the east, and that the insufficient separation distance would result in a significant overbearing impact to the rear garden and rear elevation of No 16 The Green, it is considered on balance that the proposal would result in an unacceptable loss of privacy, and would reduce the subsequent use and enjoyment of the private garden area of this existing dwelling. In this regard, the proposal would be contrary to policy LP14 of the Local Plan to 2036.
- 7.102 Neighbour comments in support of the application in terms of the proposal improving security and privacy and would make the area more practical and cheaper to maintain, allowing for a green space to be delivered are noted. However, these elements do not outweigh the identified harm in terms of overlooking and loss of privacy and the proposal is considered to cause an unacceptable level of detriment to residential amenity significant enough to warrant a refusal of the application.
- 7.103 Should the proposal be approved by Members, it is recommended to consider appending construction hours restriction condition to

safeguard residential amenity and a condition requiring the first floor front dormer window of Plot 3 to be obscure-glazed.

Highway Safety & Parking Provision

- 7.104 Policies LP16 and LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.
- 7.105 The site would be accessed via the existing Hill Place vehicular highway access from Brington Road serving the wider site as approved in the original 1300679FUL application and the proposed dwellings would take their vehicular access from the western end of the perimeter road serving the northern part of the site with the creation of a new access and road which would extend to the middle point of Plot 3 to the south serving Plots 2 and 3.

Highway Safety

- 7.106 Cambridgeshire County Council as the Local Highways Authority (LHA) have reviewed the proposals and advised that the development is not adopted highways land and the access to the adopted highway on Brington Road has already been accepted previously for shared residential use. Therefore, no significant adverse effect upon the Public Highway should result from this proposal should it gain benefit of Planning Permission. The Local Highway Authority therefore raise no objection to the proposal and as such, the proposal is considered to have an acceptable impact on highway safety and is in accordance with Policy LP17 of Huntingdonshire's Local Plan to 2036, as well as the 2023 NPPF.

Parking

- 7.107 All Plots would have off-road parking provision via a double drive serving each dwelling with double garage beyond. The double garages which would have room for at least one additional vehicle space and area to store cycles complies with the standards set out within the Huntingdonshire Design Guide and LP17 of the Local Plan to 2036.
- 7.108 Brington and Molesworth Parish Council have requested standard highway conditions unusually recommended by Cambridgeshire County Highways on development schemes, including access construction maintenance and access drainage. These requests are noted, however, Cambridgeshire Highways have reviewed the submitted proposal and note that the site is within private land. Included in the tests for planning conditions is that it is enforceable, necessary, relevant and reasonable. In this case, given the absence of highways concerns, it is considered that the

proposal fails the tests for planning conditions and that it would be unreasonable to append these conditions to any consent given to the application.

Flood Risk and Surface Water

- 7.109 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test.
- 7.110 The application site is situated in Flood Zone 1 Based on the Environment Agency Floods Maps and the Strategic Flood Risk Assessment (2017). However, the site is forms part of a wider large-scale development and it is therefore required that other forms of flood risk, such as surface water flooding are appropriately considered and mitigated. It is also acknowledged that a neighbour and Brington and Molesworth Parish Council supports the application subject to flooding risks being addressed, with the Parish Council requiring Surface Water drainage and runoff scheme conditions.
- 7.111 A Flood Risk Assessment, Outline Drainage Strategy and SUDS statement has been submitted in support of the application. These documents confirm that the proposed swale basin (to be implemented north of the main access to the site on Brington Road, with associated access and ditch) has been sized to accommodate rainfall events up to and including a 1 in 100 year +40% climate change storm and an additional basin is proposed as a public benefit above planning policy requirements to manage any runoff from the field to the north of the proposed swale. The basin is proposed with a 361m² surface area, 249m² base area, 0.5m deep.
- 7.112 The EA Flood Risk from Surface Water map shows that the majority of the site is at 'very low' risk of surface water flooding with some small areas at 'low risk' of surface water flooding. This is likely caused by localised low spots within the site. The provision of a SuDS drainage system will help to reduce the risk in these areas. As such the risk posed to the site by surface water has been deemed low.
- 7.113 The proposed SuDS drainage strategy will restrict the runoff from the proposed development to 2.0 l/s, matching the greenfield runoff rate as closely as practicable, whilst meeting the request for 75mm apertures at MH19 and MH21 to ensure the risk of blockages and flooding are suitably reduced. As such, the site is at low risk of flooding and the proposed SuDS features offer the opportunity to reduce flood risk downstream.
- 7.114 Third-party comments including comments from Brington and Molesworth Parish Council raise concerns regarding flooding,

particularly to Nos. 12, 14 and 16 The Green (sited to the south) and Hill Place House as there is a slope into these dwellings' rear gardens which has caused historic internal flooding are acknowledged, as is the one comment of support which identifies that the proposal would improve drainage to neighbouring properties.

- 7.115 Initially, the Cambridgeshire Lead Local Flood Authority (LLFA) objected to the proposals on the basis that insufficient hydraulic calculation and attenuation volumes data had been submitted as well as discrepancies in the proposed impermeable area and more information required to assess the projected proposal outfall.
- 7.116 Following this objection, additional information via an updated Flood Risk and Drainage Strategy) was received from the applicant to address LLFA concerns and was duly reconsulted upon. The LLFA after review removed their objection in principle, subject to conditions relating to a detailed design of Surface Water Drainage to be submitted to and approved in writing by the Local Planning Authority to be thereafter maintained and managed in accordance with the approved management and maintenance plan to ensure adequate drainage and to ensure that there is no increased flood risk on or off the site and a pre-commencement condition for additional surface water run-off avoidance during construction to be submitted to and approved in writing by the Local Planning Authority to ensure surface water is managed appropriately during the construction phase. Informative relating to Ordinary Watercourse consent and Pollution Control are also recommended to be appended to any consent given to the application.
- 7.117 Additionally, in response to the raised neighbour concerns regarding flooding, the LLFA acknowledges that "internal property flooding has been reported in the area, affecting properties laying at a lower level adjacent to the site. Mapping shows that the site is in Flood Zone 1 and at low risk of surface water flooding. The applicant proposes to use permeable paving and swales as a means of attenuating and conveying surface water on the site. The application also seeks to provide wider SuDS benefits by providing additional attenuation storage to manage surface water runoff from the field to the north of the proposed swale. This means that flood water should not be displaced outside of the site, therefore minimising any increased risk of flooding to the surrounding area.
- 7.118 This betterment of flood risk and drainage measures which include a basin to serve the wider site outside of the site plan is regarded to provide a significant benefit to the site and wider development in flood risk and drainage terms. Consequently, it is considered that the development would likely improve flooding and surface water issues on the site for neighbours and is therefore acceptable. Notwithstanding this betterment, given the in-principle support for the development by technical consultees, officers are

satisfied that the proposal is acceptable in flood risk and drainage terms subject to conditions and informatives. The proposal is therefore considered acceptable with regard to Policies LP5, LP6 and LP15 of the Huntingdonshire Local Plan to 2036 and the NPPF 2023 in this regard.

Biodiversity

- 7.119 Paragraph 180 of the NPPF (2023) states Planning policies and decisions should contribute to and enhance the natural and local environment. Policy LP30 of the Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible, through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type, and location of development.
- 7.120 A neighbour has raised concern that the developer would be in breach of their Biodiversity Net Gain obligations, should planning permission be given.
- 7.121 The application is accompanied by the Council's Biodiversity Checklist which identifies no biological constraints to the site which corresponds with council data as well as a Biodiversity Metric 3.0 and Biodiversity Enhancement Plan (BEP) by ELMAW Consulting dated April 2022, which notes that the existing site is bare land with little ecological significance. Given the location of the site separating two housing developments, officers agree with this appraisal.
- 7.122 The BEP proposes a number of objectives for the proposal, including a traditional orchard comprising of 27 fruit trees over 0.147 hectares under sown grassland which would benefit invertebrates, amphibians, small mammals and birds. Additionally, a new native tree and shrub belt will be planted along the majority of the site's eastern boundary. This area will measure approximately 0.085ha and will comprise a mix of native trees and wildlife-beneficial shrubs. The lower growing shrub layer will provide shelter to small mammals and invertebrates. The early-flowering trees and shrubs will provide a vital nectar source to emerging invertebrates coming out of hibernation which need extra energy at this crucial time in their lifecycle.
- 7.123 It is also proposed to install three nest boxes for nesting birds, hedgehog boxes and insect houses with wider planting on the site to benefit all wildlife. Overall, the proposal would represent a 65.34% biodiversity net gain, however, it is acknowledged that this is a policy requirement and is not a significant benefit to the scheme which would represent to outweigh the harm that makes the proposal unacceptable in principle.

- 7.124 The proposal has been reviewed by the Council's Ecology Officer who raises no objections to the proposal subject to conditions requiring the scheme to be implemented in accordance with prescriptions detailed in Sections 2.1 and 2.2 of the Ecological Enhancement Scheme and a Habitat Management Plan to be submitted to and approved in writing by the Local Planning Authority to ensure the conservation and enhancement of on-site biodiversity in accordance with Policy LP30 of the Huntingdonshire Local Plan to 2036.
- 7.125 Officers are therefore satisfied that a biodiversity net gain would be achieved on the site, subject to conditions securing the proposed enhancement and monitoring and maintenance measures to ensure no net loss in biodiversity and to secure a net gain.
- 7.126 As such, subject to the imposition of conditions, the proposal is considered to accord with the objectives of Policy LP30 of Huntingdonshire's Local Plan to 2036 and Section 15 of the National Planning Policy Framework in this regard.

Impact on Trees

- 7.127 Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland or hedge.
- 7.128 The proposal is accompanied by an Arboricultural Impact Assessment and Tree Protection Plan, Tree Survey and an Arboricultural Arboricultural Method Statement which has been reviewed by the Council's Arboricultural Officer, who raises no objection subject to conditions.
- 7.129 Therefore, subject to the imposition of compliance conditions to ensure the proposal is carried out in accordance with the submitted arboricultural details, the proposal is considered to be in accordance with Policy LP31 of the Huntingdonshire Local Plan to 2036.

Accessible and Adaptable Homes

- 7.130 Policy LP25 of the Huntingdonshire's Local Plan to 2036 states that proposal for new housing will be supported where they meet the optional Building regulation requirement M4(2) 'accessible and adaptable dwellings' unless it can be demonstrated that site specific factors make this impractical or unviable.
- 7.131 To ensure that the development can meet these standards a condition is recommended to be imposed on any permission that

may be granted in this regard in accordance with Policy LP25 of Huntingdonshire's Local Plan to 2036.

Water Efficiency

7.132 Policy LP12 (j) of the Local Plan to 2036 states that new dwellings must comply with the optional Building Regulation requirement for water efficiency set out in Approved Document G of the Building Regulations. It is recommended that a condition be attached to any consent to ensure compliance with the above, in accordance with Policy LP12 (j) of Huntingdonshire's Local Plan to 2036.

Infrastructure Requirements and Planning Obligations

7.133 Community Infrastructure Levy (CIL):

The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

Affordable Housing

7.134 The applicant acknowledges within the submitted planning statement that the previous application on the site for residential development (22/00951/FUL) was refused in part due to lack of affordable housing provision. Members should also be aware that the 2020 refusal at Development Management Committee (20/00012/FUL) for six dwellings on the site was also refused due to lack of affordable housing provision.

7.135 The key reasoning for this position rests on the view that the wider originally-permitted site (13000679FUL for the erection of 56 dwellings (including 12 affordable units) following demolition of 40 existing dwellings, access and landscaping works and formation of public open spaces, permitted in 2014) includes this current parcel of land subject to determination in this application, and therefore the current proposal should be considered as part of the wider previous development. Supporting this view is that within the Inspectors determination of the 20/00012/FUL appeal statement that 'two affordable dwellings would make a useful contribution towards local housing needs.'

7.136 The submitted planning statement acknowledges this quote, but counters that the omission of the Inspector to explicitly require an affordable housing element sufficient justification that an affordable housing element is not a requirement. While this is noted, it is also the case that a Section 106 legal agreement to secure affordable housing (2 of the six proposed dwellings) had been agreed between the Local Planning Authority and the Applicant prior to determination of the 2022 appeal.

- 7.137 Furthermore, the submitted planning statement puts forward that the site should be regarded as a single planning unit rather than part of the wider site, citing the R (Westminster City Council) v First Secretary of State and Brandlford Limited [2003] case law which sets out three 'tripartite' tests to determine whether the site forms part of either a larger or smaller planning unit in instances of phased development. All three tests must be satisfied to be considered passed, and include ownership, whether the site is a single planning unit, and whether the development should be treated as a single development.
- 7.138 In terms of ownership, the submitted planning statement (PS) accepts that the site has been in the same ownership between the determination date of the original permission (1300679FUL for 56 dwellings) and the current submission, although the PS does not regard this as demonstration that the proposal does not meet this first test. However, the first 'tripartite' test is whether the two sites are in single ownership, which is clearly is. It is therefore considered that the two sites are in single ownership and therefore does not meet this first 'tripartite' test.
- 7.139 The second test relates to whether the two sites constitutes a single site for planning purposes and the third is whether the proposals can be deemed a single development. Officers put forward that the site is included within the red line of the original 1300679FUL application and therefore forms one planning unit where a Section 106 legal agreement and deed of variation was established to secure the site as open / orchard land. Moreover, the sites access is through the existing development and the proposed drainage basin as proposed in the current application would be placed and subsequently would benefit the wider site as approved.
- 7.140 The PS argues that as the original 1300679FUL application is complete, considering the scale and nature of the proposal, the nature of the existing development (which was not designed to avoid affordable housing provision or artificially subdivided), surrounding context, planning history, relative timescales and completed development, the proposal is not phased development and should be regarded as a separate planning unit. However, officers refute this as the open space requirement, secured by a Section 106 to deliver an orchard has not been delivered and therefore the development should be regarded as incomplete. This view is supported by the ongoing enforcement case and appeal against the developer against failure to comply with conditions 4 (Soft Landscaping) and 13 (Ecological Enhancement Measures of the permission 15/01700/S73 as amended by 17/02250/NMA to restore the original land levels, implement the soft landscaping scheme and complete the orchard planting.
- 7.141 Policy LP24 of the Huntingdonshire Local Plan to 2039 states:

In order to assist in meeting the identified local need for additional affordable homes, a proposal which includes housing development will be required to provide a range of affordable housing types, sizes and tenures. These should be appropriate to meet the requirements of the local community taking into account the latest evidence from the Housing Register, the Cambridge sub-region Strategic Housing Market Assessment and other local sources. The affordable housing provision may include specialist or supported housing where an identified need exists. A proposal will be supported where:

- a. it delivers a target of 40% affordable housing on a site where 11 homes or 1,001m² residential floorspace (gross internal area) or more are proposed(16);*
- b. it provides approximately 70% of the new affordable housing units as social or affordable rented properties with the balance made up of other affordable tenures;*
- c. affordable housing is dispersed across the development in small clusters of dwellings; and*
- d. it ensures that the appearance of affordable housing units is externally indistinguishable from that of open market housing.*

Where it can be demonstrated that the target is not viable due to specific site conditions or other material considerations affecting development of the site an alternative dwelling or tenure mix or a lower level of provision may be supported. Preference will be given to amending the tenure mix; only if this is still demonstrated not to be viable will consideration be given to reducing the affordable housing requirement. A development viability assessment may be required to support an alternative mix or level of affordable housing provision.

In exceptional circumstances it may be appropriate to accept off-site provision and/or commuted payments where this would offer an equivalent or enhanced provision of affordable housing.

7.142 Furthermore, the supporting text at paragraph 7.12 to Policy LP24 'Affordable Housing provision' states that: "..In deciding whether a particular site meets the size thresholds the Council will consider not only the proposal submitted but the potential capacity of the site and whether a larger site has been artificially sub-divided. Where this applies, affordable housing requirements will reflect a reasonable capacity on the whole site."

7.143 The 2013 proposals comprised the erection of 56 dwellings following the demolition of the existing 40 dwellings on the site, thereby delivering 16 net gain in dwellings. The proposals were brought forward as a part exception site / part replacement of existing dwellings and were supported by a viability assessment which confirmed that four market houses were required to support the delivery of 12 affordable dwellings, which exceeded the policy requirement for 40% of the site to be affordable housing.

- 7.144 It is acknowledged that the site, due to being part of an area with over 30 dwellings now forms part of the built-up area. Taking into account that the current proposal would deliver an additional three dwellings, bringing the net gain of dwellings to 19 dwellings, it is accepted that the 40% requirement for affordable housing of 7.6 homes has already been met and is acceptable in this instance.
- 7.145 Officers note that the on the previous application (22/00951/FUL) reason for refusal 4 related to the lack of affordable housing provision. It is unclear how officers arrived at this decision given that the affordable housing provision was policy compliant. Notwithstanding this, it must be acknowledged that each proposal is assessed on its own merits and in this case, does not meet the policy threshold to deliver additional affordable housing. Nevertheless, should any more development proposals come forward on the site, an assessment of affordable housing provision would be required, and appraised using Local Plan Policy LP24 on its own merits.
- 7.146 It is therefore concluded that the proposed development is policy compliant and as such, would accord with Policy LP4 and LP24 of Huntingdonshire's Local Plan to 2036, the National Planning Policy Framework 202 3and the Huntingdonshire Developer Contributions Supplementary Planning Document (2011).

Unilateral Undertaking for the Provision of Wheeled Bins

- 7.147 Part H of the Developer Contributions SPD (2011) requires a payment towards refuse bins for new residential development. A Unilateral Undertaking to secure the provision of wheeled bins has been submitted as part of the application, which includes the provision of wheeled bins for three dwellings at £170.00, which would equate to £510.00. On this basis the proposal would provide a satisfactory contribution to meet the tests within the CIL Regulations. The proposal would therefore accord with Policy LP4 of the Huntingdonshire Local Plan to 2036 and the Developer Contributions Supplementary Planning Document (2011).

Other Matters

- 7.148 It is noted that Brington and Molesworth Parish Council would prefer to have reviewed the outcome of 23/00016/ENFNOT for Appeal against 19/00302/ENBOC - Breach of conditions 4 (Soft Landscaping) and 12 (Ecological Enhancement) of 15/01700/S73 as amended by 17/02250/NMA before providing comments. However, while the enforcement appeal is a material consideration, the application submitted to the Local Planning Authority must be assessed as submitted on its own merits using up-to-date local and national policies.
- 7.149 Brington and Molesworth Parish Council also suggest that the HDC Call for Sites application is withdrawn (ref: cfs310) should

this current application be approved. As above, the application submitted to the Local Planning Authority must be assessed as submitted on its own merits and cannot form any prejudice on application sites that have not yet received planning appraisal.

Conclusion and Planning Balance

- 7.150 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.
- 7.151 The 2023 NPPF has at its heart the presumption in favour of sustainable development (para 11) and requires the approval of development proposals that accord with an up-to-date development plan without delay. The presumption in favour of sustainable development requires proposals to achieve economic, social and environmental gains; as such a balancing exercise has to be undertaken to weigh the benefits of the scheme against its disadvantages.
- 7.152 The proposal is for three dwellings with provision of a landscaped open space to deliver an orchard on part of a wider site which was approved in 2014 for the erection of 56 dwellings (including 12 affordable units) following demolition of 40 existing dwellings, access and landscaping works and formation of public open spaces.
- 7.153 As outlined in detail in the above sections of this report, the wider site as originally approved included a green space / orchard area and included the land where the current proposal is sited. This green space / orchard area was secured by a Section 106 Agreement and a subsequent deed of variation. However, it is acknowledged that there was an over-provision of open space within the original permission based upon the Huntingdonshire Developer Contributions SPD 2011 and no legal definition of orchard land was established within these legal agreements.
- 7.154 Notwithstanding the fact that there was an over-provision of open space on the site, the function of this particular strip of open space/land was included within the original 2014 application for residential development was integral to the character and appearance of the area and thus was regarded as very important.
- 7.155 This is reflected in the recent planning decisions (including a Planning Inspectorate dismissal of an appeal on the site) and the ongoing enforcement appeal regarding how the planned open space / orchard has not been delivered on site, that the site had been subject to a significant rise in levels and that the approved soft landscaping scheme had not been implemented in line with approved application 1408243COND, which stated that these works would be carried out in the first season after construction

works. These are key material considerations when assessing the proposed development.

- 7.156 It should be noted by Members that not all proposed developments are entirely without harm or entirely without benefit. Therefore, in reaching a recommendation on the application, Officers have considered the potential harm of the development against the potential benefits of the development. Officers have considered what weight should be given to each material consideration. This forms the overall planning balance.
- 7.157 It is noted that three reasons for refusal from the previous 2022 (22/00951/FUL) application have been resolved within the current submission, namely affordable housing, drainage details and trees information. It is also acknowledged that the application includes a Unilateral Undertaking for the provision of wheeled bins and that the proposal is policy compliant in terms of biodiversity and highway safety.
- 7.153 It is also accepted that there would be some moderate economic benefits to the scheme, not least that the construction would create employment opportunities and the introduction of three dwellings would lead to economic growth in the village and wider district through spending on local services / facilities. There will also be additional Council Tax contributions arising from the development.
- 7.154 There are also social advantages to the scheme. The Council can demonstrate a 5 year supply of deliverable housing land, and the provision of 3 market dwellings would result in a moderate social benefit in terms of providing a greater flexibility and choice to the supply of housing.
- 7.155 In terms of environmental benefits, the proposal delivers, through the biodiversity mitigation and enhancements, a development that is acceptable from a biodiversity perspective. While it is accepted that the proposal would deliver a biodiversity net gain, this is only afforded limited weight given this is a policy requirement and also is the proposed development would be on previously identified orchard land under a previous consent.
- 7.156 A considerable benefit of the scheme would be that the applicant proposes to use permeable paving and swales as a means of attenuating and conveying surface water on the site. The application also seeks to provide wider SuDS benefits by providing additional attenuation storage to manage surface water runoff from the field to the north of the proposed swale. This means that flood water should not be displaced outside of the site, therefore minimising any increased risk of flooding to the surrounding area.
- 7.157 This betterment of flood risk and drainage measures which include a basin to serve the wider site outside of the site plan is regarded

to provide a significant social and environmental benefit to the site and wider development in flood risk and drainage terms. Consequently, it is considered that the development would likely improve flooding and surface water issues on the site for neighbours beyond what would be required to make this proposed development of 3 dwellings acceptable.

- 7.158 While the above factors are positive elements of the scheme, they do not outweigh the in-principle conflict with Criteria LP9(c) which requires proposals to have an acceptable effect on the character of the immediate locality and the settlement as a whole.
- 7.159 Officers note that there has been a change in position from the parish council from initially objecting to the scheme (in the previous 22/00951/FUL application for a similar 3 dwelling scheme) and some local residents in relation to the development. It is also noted that there are still local objections. This exemplifies that there are both advantages and disadvantages to the scheme. Nevertheless, Members should be mindful of the extensive planning history for this site and that in reaching the decision and as part of the planning balance, officers have had regard to consistent decision making.
- 7.160 In line with these previous decisions on the site, it is the view of Officers that the proposal would significantly harm the character and appearance of the area in conflict with HLP Policies LP2, LP9(c), LP11, LP12 and LP32 through the erosion of the planned orchard land as amenity land for the wider development, and would erode the spatial separation of Hill Place and The Green through infilling adjacent to the rural countryside edge with development, and segregation of part of the orchard land with fencing and artificial ground levels.
- 7.161 Due to the artificially enhanced topography of the site with levels sloping down to the south, the proposed development would result in significantly harmful overlooking from the front elevation windows of plot 3 causing a loss of privacy to the private garden area of no 16 The Green. The tree planting proposed along the linear orchard to the south of the proposed dwellings would not sufficiently mitigate against the harmful overlooking which has been identified.
- 7.162 Whilst the proposal would result in a number of benefits, the identified harm of the development is given greater weight in this instance. It is therefore the view of Officers that the proposal has significant harm that outweighs the potential benefits.
- 7.163 The development plan is considered to be up-to-date and carries substantial weight. Paragraph 12 of the NPPF 2023 advises that where a planning application conflicts with an up-to-date development plan, permission should not usually be granted.

7.164 Having regard for all relevant material considerations, it is concluded that the proposal would not accord with local and national planning policy. Therefore, it is recommended that planning permission be refused.

8. RECOMMENDATION - REFUSAL for the following reasons

1. The proposal would significantly harm the character and appearance of the area in conflict with HLP Policies LP2, LP9(c), LP11, LP12 and LP32 through the erosion of the planned orchard land as amenity land for the wider development, and would erode the spatial separation of Hill Place and The Green through infilling adjacent to the rural countryside edge with development, and segregation of part of the orchard land with fencing and artificial ground levels. The proposal is also contrary to the HDC Design Guide 2017 section 1.6 Design Principles, 3.6 Landscape, and 3.7 Building Form, and gives rise to unacceptable overlooking from plot 3 to the rear garden of 16 The Green, contrary to HLP Policy LP14(b). The proposal would therefore have an unacceptable effect on the character of the immediate locality and the settlement as whole, contrary to criterion (c) of Policy LP9 Huntingdonshire Local Plan. Subsequently, the principle of development is not supported.
2. Due to the topography of the site with levels sloping down to the south, the proposed development would result in significantly harmful overlooking from the front elevation windows of plot 3 causing a loss of privacy to the private garden area of no 16 The Green. The tree planting proposed along the linear orchard to the south of the proposed dwellings would not sufficiently mitigate against the harmful overlooking which has been identified. The proposal would therefore be contrary to policy LP14 (b) of Huntingdonshire's Local Plan to 2036 (2019), the guidance of the Huntingdonshire Design Guide Supplementary Planning Document (2017) and the National Planning Policy Framework 2023 particularly paragraph 135(f) and part H1 of the National Design Guide (2019), all which seek a high standard of amenity for existing and future place users.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

CONTACT OFFICER:

Enquiries about this report to **Marie Roseaman Senior Development Management Officer** – marie.roseaman@huntingdonshire.gov.uk



Subject: 23/02123/FUL | Erection of three houses | Land South Of Hill Place Brington
Date: 11 December 2023 21:27:47
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[FRA.pdf](#)

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Re: 23/02123/FUL | Erection of three houses | Land South Of Hill Place Brington

Please can BMPC have confirmation that this planning application has been referred to the Cambridgeshire County Council Local Lead Flood?

There is a complex mix of surface water flood issues at Hill Place / The Green. Please can all parties look at Neighbour Comments particularly from The Green households and their comments on surface water.

Please ensure the applicant has covered all surface water issues in their FRA and Outline Drainage Strategy.

Many thanks

Gary

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Chairman of Planning

Brington and Molesworth Parish Council

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Parish Web site: www.bringtonmolesworth-pc.gov.uk

BRINGTON & MOLESWORTH PARISH COUNCIL

CHAIRMAN: Cllr David Frayatt

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20th December 2023

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Senior Development Management Officer
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Corporate Delivery
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For the attention of Marie Roseaman.

Dear Marie,

Parish Council Consultation: Application Ref. 23/02123/FUL - Erection of three houses - Land South of Hill Place Brington.

Further to your letter of 23rd November 2023, Brington and Molesworth Parish Council (BMPC) have reviewed the planning documents 23/02123/FUL. BMPC has reviewed the applicants' drawings, held a public meeting to understand parishioners' views and therefore made the following recommendations:

The Parish Council notes that there is an outstanding Planning Inspectorate case – APP/H0520/C/23/3322025 regarding the land that forms part of this application. In normal circumstances, we would have liked to have reviewed the Planning Inspector's findings before commenting, as some Hill Place residents believe this land should be an orchard as outlined in the original 2013 planning application (1300679FUL). However, we understand the frustration of many residents of Hill Place / The Green, that they want to see the estate completed without further delay and to a high standard as the original construction works.

In principle, BMPC is in favour of this application. The new layout of the three homes goes a long way to resolve many of the previous application issues. This application does help mitigate the loss of privacy at 14 and 16 The Green. We believe it is important that any fenestration is of adequate height to prevent loss of privacy, particularly whilst the tree belt takes time to mature. The Orchard Area and Area of buffer planting should be planted **before** the first occupation, with mature trees of adequate height to prevent loss of privacy.

BMPC is aware through conversation and neighbour letters published as part of the planning process, that both 14 and 16 The Green have suffered from surface water flooding in the past few years. 16 The Green highlights three occasions when the property has suffered water damage. Most recently in October 2023, surface water ingress into the house has damaged carpets. We would hope that the LPA and LLFA will work with the Applicant to resolve any surface water appearing within the gardens of particularly 14 & 16 The Green, along with any other property.

The Parish Council also notes the HDC Call for Sites application – cfs310 – Land West and East of Hill Place, Brington. Campbell Buchanan has applied for thirteen homes, eight plus five affordable. We hope in a spirit of goodwill to the village and particularly The Hill Place / The Green homeowners, that this application will now be withdrawn. BMPC would hope that the original offer by the senior management team of Campbell Buchanan at a public meeting in June 2022, to give this land to the Parish Council for community use, will be honoured.

Planning Conditions:

We would be grateful for the LPA to review our request for detailed planning conditions should the Applicant be successful. Our planning condition list is not exhaustive and therefore BMPC requests that the LPA ensure the final condition schedule provides adequate public safety and continued public amenities, whilst and after any development takes place. May we remind you that we believe it important that all planting should be completed before first occupation.

Yours sincerely

Cllr David Fryatt

Enc: Conditions – 23/02123/FUL

BMPC request for Planning Conditions – 23/02123/FUL - for new build applications within Brington and Molesworth. Not exhaustive and need professional review by LPA.

Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990, as amended

Condition: Construction Hours of Activity All construction activities, mechanical machinery, site radios or deliveries shall be restricted to the operational hours 07:30 to 18:00 Monday to Friday, and 08:00 to 13:00 on Saturdays and at no time on Sundays or Bank Holidays.

Reason: To maintain a quiet neighbourhood, outside of normal operational hours.

Condition: Highway Maintenance The contractor will be responsible for ensuring the highway is always kept clean and clear of mud and associated construction debris to secure the safety of Parish residents and visitors.

Reason: To maintain highway safety on local roads and footpaths.

Condition: Prior to any development works taking place the proposed on-site parking and delivery areas as defined in referenced 'Approved' planning application in conjunction with any further identified parking requirements have been laid out and demarcated in accordance with the approved plan and thereafter retained for that specific use.

Reason: To ensure the permanent availability of the parking / manoeuvring area, in the interests of highway safety.

Condition: That Brington and Molesworth public footpath 29/9 is protected and remains available for the public to use at all times during and after the development.

Reason: To ensure that public footpath 29/9 is available for public use at all times.

Condition: The development hereby permitted shall be carried out in accordance with the approved plans listed in the table above.

Reason: For the avoidance of doubt to ensure that the development is carried out in accordance with the approved plans.

Condition: The development hereby permitted shall be constructed in accordance with the materials specified on approved drawings unless otherwise submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: In the interests of visual amenity.

Condition: No development, demolition, clearance, or preparatory operations shall commence until details of the existing and proposed levels, floor levels and contours have been submitted to and approved in writing by the Local Planning Authority. The submitted details shall show the relationship of proposed levels and contours to existing vegetation and surrounding landform. The development shall be carried out in accordance with the approved details.

Reason: To ensure the proposals are integrated within the street scene and to protect the visual character of the area in accordance with Policies LP11, LP12 and LP14 of Huntingdonshire's Local Plan to 2036.

Condition: Notwithstanding the submitted details, no development above slab level shall take place until full details of the materials to be used in the construction of the external surfaces of the dwelling hereby permitted have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: *In the interests of visual amenity.*

Condition: No development above slab level shall take place in connection with the development hereby approved until full details of:

1. Hard landscape works, to include but not be limited to, full details of boundary treatments (including the position, height, design, material) to be erected and paved surfaces (including manufacturer, type, colour and size);
2. Soft landscape works based on the proposed works outlined in the submitted proposed site plan to include planting plans (which show the relationship to all underground services and the drainage layout), written specifications (including cultivation and other operations associated with plant and grass establishment), schedules of plants noting species, plant sizes, proposed numbers and densities, tree pit details (where appropriate) including, but not limited to, locations, soil, volume u=in cubic metres, cross sections and dimensions;
3. The Orchard and Buffer planting is completed before first occupation.
4. Full details of landscape maintenance regimes;
5. An implementation programme for the landscape works; have been submitted to and approved in writing by the Local Planning Authority. These works shall be carried out in full in accordance with the approved details. Any trees or plants which are planted in connection with the approved soft landscape details which within a period of five years from planting, die, are removed, or become seriously damaged or diseased, shall be replaced in the next planting season with others of the same size and species as those originally approved, unless the Local Planning Authority gives written approval to any variation.

Reason: *In the interests of visual amenity and to enhance the character and appearance of the site in accordance with Policies LP11, LP12 and LP14 of Huntingdonshire's Local Plan to 2036.*

Condition: No development, including preparatory works, shall commence until details of measure indicating how additional surface water run-off from the site will be avoided during the construction works have been submitted to and approved in writing by the Local Planning Authority. The applicant may be required to provide collection, balancing and/or settlement systems for these flows. The approved measures and systems shall be brought into operation before any works to create buildings or hard surfaces commence.

Reason: *To ensure water is managed appropriately during the construction phase of the development, so as not to increase the flood risk to adjacent land/properties or occupied properties within the development itself; recognising that initial works to prepare the site could bring about unacceptable impacts.*

Condition: The access shall be constructed with adequate drainage measures to prevent surface water run-off onto the adjacent public highway, in accordance with a scheme submitted to and approved in writing by the Local Planning Authority.

Reason: *To prevent surface water discharging to the public highway.*

Condition: No development shall commence until details of the surface water drainage for the site have been submitted to and approved in writing by the Local Planning Authority. The drainage works shall be constructed in accordance with the approved details prior to the occupation of any part of the development hereby approved.

Reason: *To ensure appropriate surface water drainage in accordance with LP15 of the Huntingdonshire Local Development Plan.*

Condition: No development shall commence onsite until a detailed design of the surface water drainage of the site has been submitted to and approved in writing by the Local Planning Authority. Those elements of the surface water drainage system not adopted by a statutory undertaker shall thereafter be maintained and managed in accordance with the approved management and maintenance plan. The Scheme shall be based upon the principles within the approved FRA and Drainage Report and shall also include:

- a) Full results of the proposed drainage system modelling in QBAR, 3.3% Annual Exceedance Probability (AEP) (1 in 30) and 1% AEP (1 in 100) storm events (as well as 1% AEP plus climate change), inclusive of all collection, conveyance, storage, flow control and disposal elements and including an allowance for urban creep, together with an assessment of system performance.
- b) Detailed drawings of the entire proposed surface water drainage system, attenuation and flow control measures including levels, gradients, dimensions and pipe reference numbers, designed to accord with the CIRIA C753 SuDs Manual (or equivalent guidance that may supersede or replace it);
- c) Full detail on SuDs proposals (including location, type, size, depths, side slopes and cross sections);
- d) Details of overland flood flow routes in the event of system exceedance, with demonstration that such flows can be appropriately managed on site without increasing flood risk to occupants.
- e) Demonstration that the surface water drainage of the site is in accordance with DEFTA non-statutory technical standards for sustainable drainage systems.
- f) Full details of the maintenance / adoption of the surface water drainage system.
- g) Permissions to connect to a receiving watercourse or sewer.
- h) Measures taken to prevent pollution of the receiving ground water and / or surface water.
- i) Adequate measures to prevent further surface water flooding at lower properties (The Green)

Reason: *To ensure that the proposed development can be adequately drained and to ensure that there is no increased flood risk on or off site resulting from the proposed development and to ensure that the principles of sustainable drainage can be incorporated into the development, noting that initial preparatory and/or construction works may compromise the ability to mitigate harmful impacts meeting the requirements of Policies LP5, LP15 and LP37 of Huntingdonshire's Local Plan to 2036.*

Condition: Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking or re-enacting that order with or without modification), no development within Class A to F inclusive of Part 1 of Schedule 2 and Class A of Part 2 of Schedule 2 of the Order shall be undertaken without planning permission first being obtained from the Local Planning Authority

Reason: *To enable the Local Planning Authority to retain control in the interest of amenity and to control surface water flooding, in accordance with Policies, LP9, LP11, LP12, LP14 and LP5 of Huntingdonshire's Local Plan to 2036.*

Condition: Access Construction The access shall be constructed with adequate drainage measures to prevent surface water run-off onto the adjacent private or public highway, in accordance with a scheme submitted to and approved in writing by the Local Planning Authority The access shall be constructed and retained in accordance with the approved details.

Reason: In the interests of both private and public highway safety.

Development Management Committee



Scale = 1:2,500

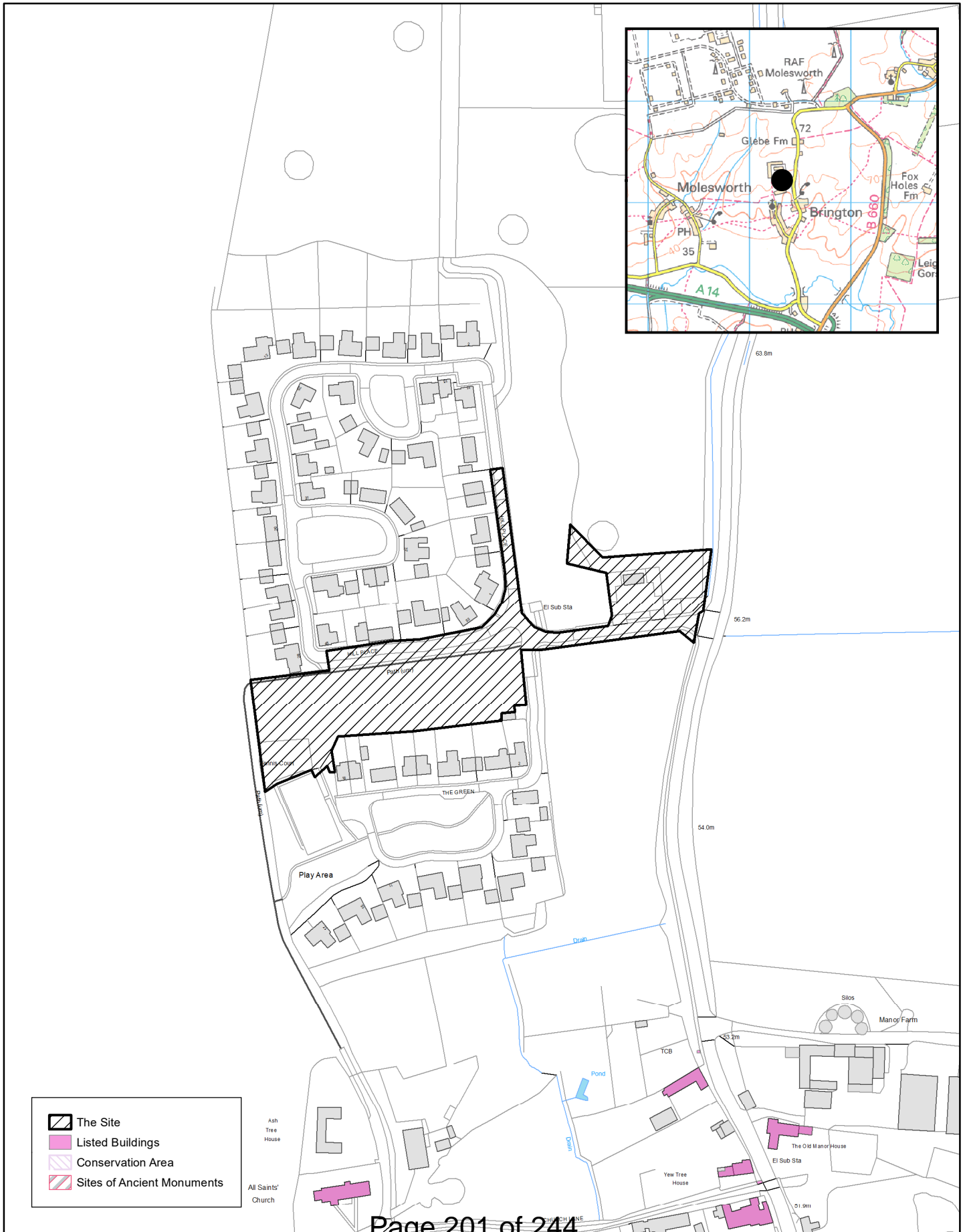
Date Created: 07/05/2024

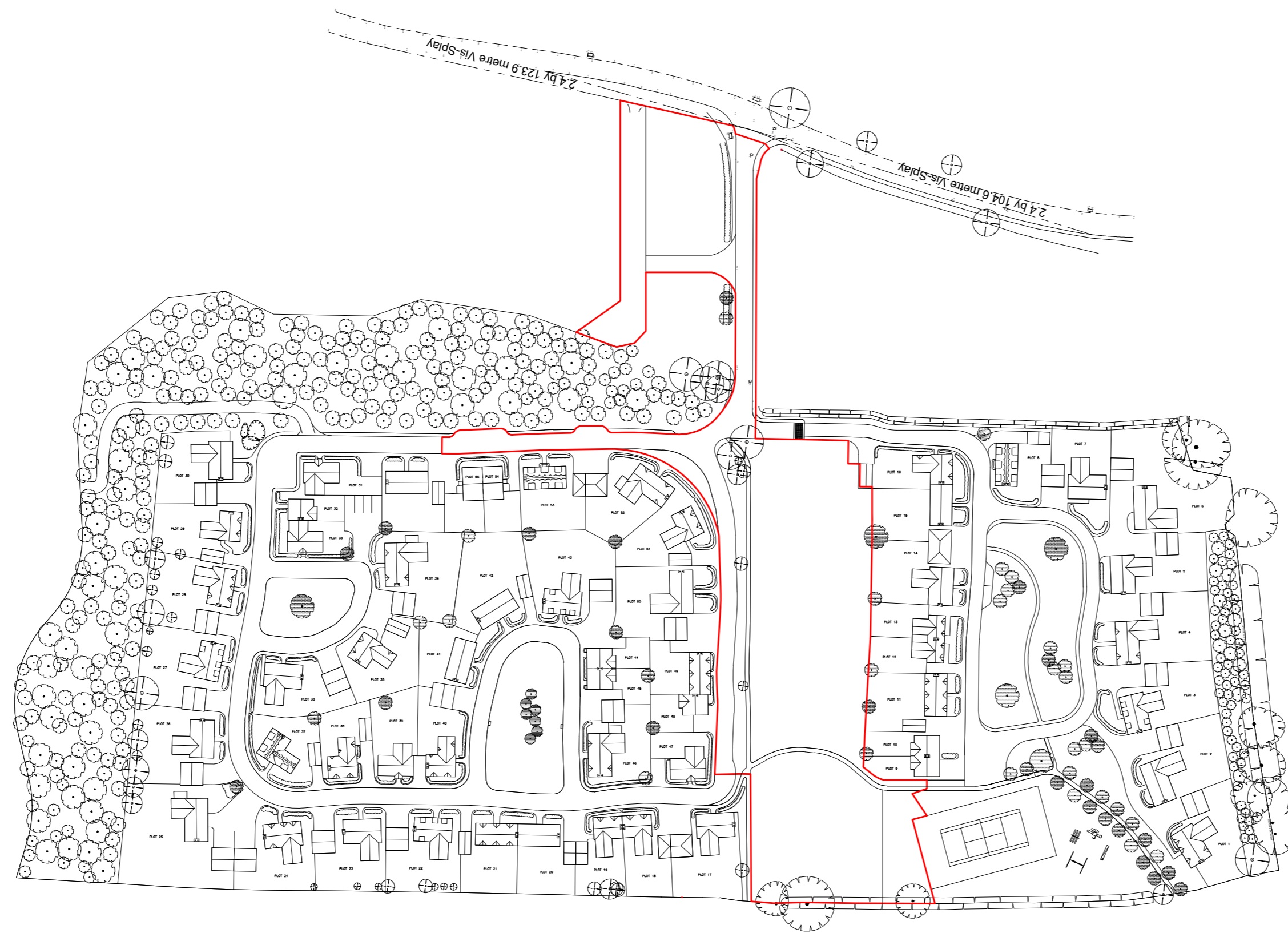
Application Ref: 23/02123/FUL

Location: Brington



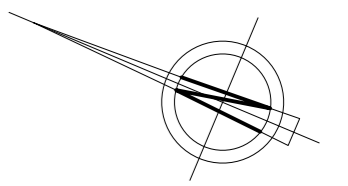
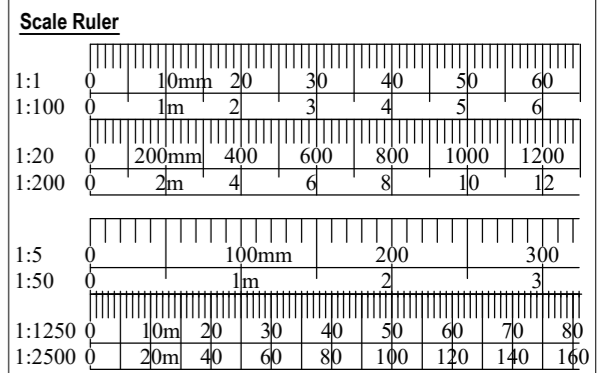
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**Existing Location Plan
A2 @ 1:1250**

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 - Dimensions must not be scaled from this drawing. The Contractor is to check and verify all building and site dimensions before work is put in hand. The scale ruler drawn below is to be used as guide only and should not be relied upon for accurate scale.
 - The Contractor is to check and verify with all the Statutory Authorities and the Employer the location and condition of any underground or overhead services or confirm that none exist prior to work commencing on site.
 - The Contractor shall comply with enactments regulations and working rules relating to safety health and welfare of workpeople.



REVISION	DATE	DESCRIPTION
a	18.07.23	Updated in line with Clients comments - TR

PWArchitects

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CLIENT
Campbell Buchanan

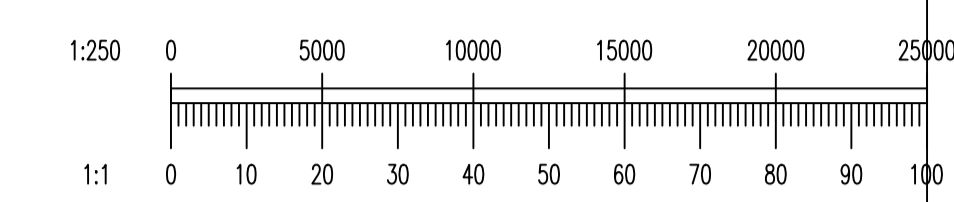
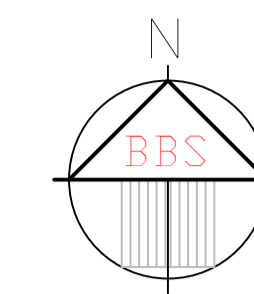
PROJECT
Residential Development;
Hill Close
Brington
HUNTINGDON
PE28 5EH

DRAWING TITLE
Existing Location Plan

DATE April 2022	SCALE 1 : 1250	PAPER SIZE A2	DRAWN TR
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PROJECT REF. 2018 / 38	DRAWING NO. & REVISION 27a
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Notes



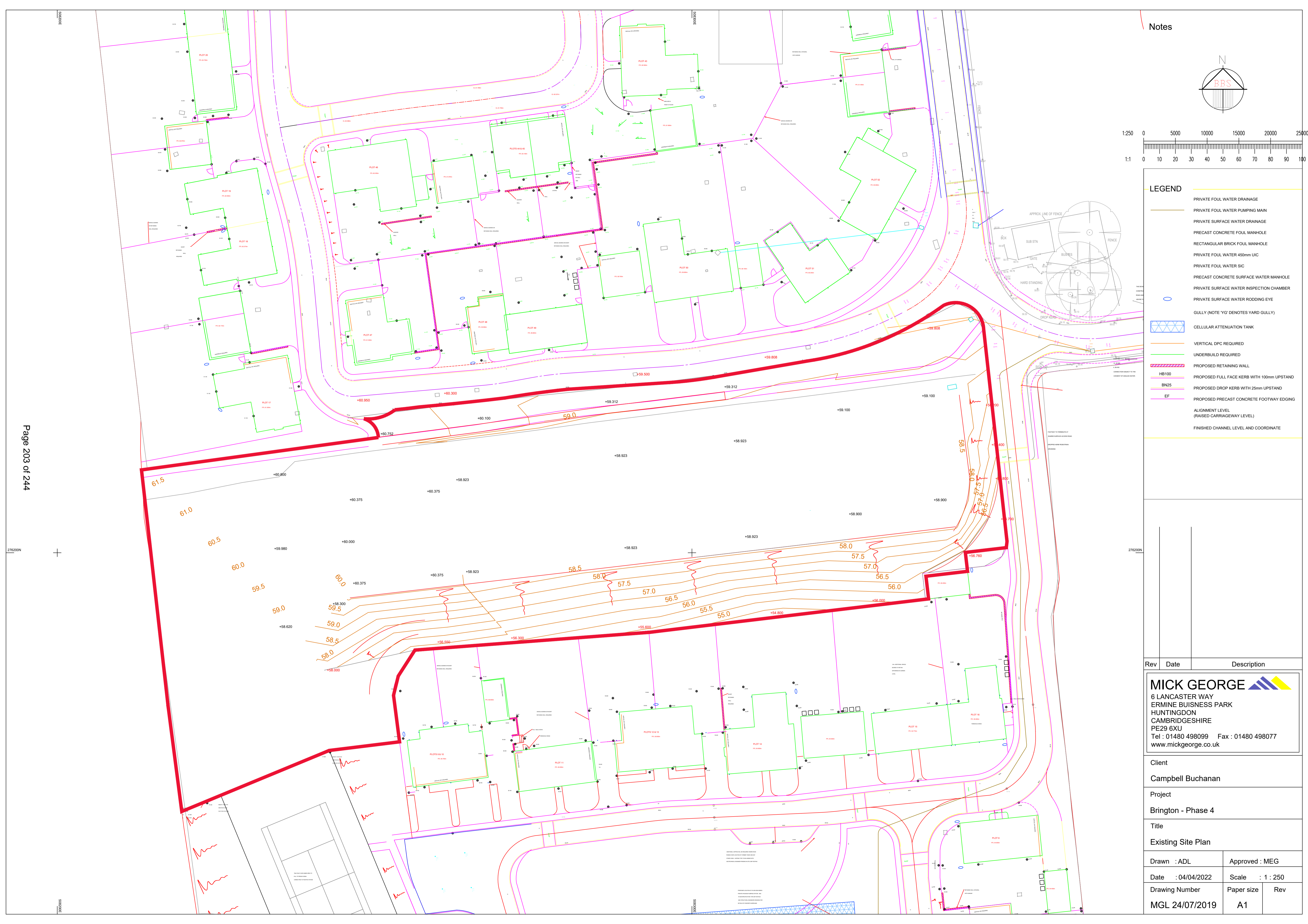
LEGEND

- PRIVATE FOUL WATER DRAINAGE
- PRIVATE FOUL WATER PUMPING MAIN
- PRIVATE SURFACE WATER DRAINAGE
- PRECAST CONCRETE FOUL MANHOLE
- RECTANGULAR BRICK FOUL MANHOLE
- PRIVATE FOUL WATER 450mm UIC
- PRIVATE FOUL WATER SIC
- PRECAST CONCRETE SURFACE WATER MANHOLE
- PRIVATE SURFACE WATER INSPECTION CHAMBER
- PRIVATE SURFACE WATER RODDING EYE
- GULLY (NOTE 'YG' DENOTES YARD GULLY)
- CELLULAR ATTENUATION TANK
- VERTICAL DPC REQUIRED
- UNDERBUILD REQUIRED
- PROPOSED RETAINING WALL
- PROPOSED FULL FACE KERB WITH 100mm UPSTAND
- PROPOSED DROP KERB WITH 25mm UPSTAND
- EF
- PROPOSED PRECAST CONCRETE FOOTWAY EDGING
- ALIGNMENT LEVEL (RAISED CARRIAGEWAY LEVEL)
- FINISHED CHANNEL LEVEL AND COORDINATE

Rev	Date	Description

Client Campbell Buchanan		
Project Brington - Phase 4		
Title Existing Site Plan		
Drawn : ADL	Approved : MEG	
Date : 04/04/2022	Scale : 1 : 250	
Drawing Number MGL 24/07/2019	Paper size A1	Rev

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 www.mickgeorge.co.uk



2.4 by 123.9 metre Vis-Splay

BRINGTON ROAD

2.4 by 104.6 metre Vis-Splay

HILL PLACE

THE GREEN

15,582.45

7882

1724

6174

3543

3065

15014

3065

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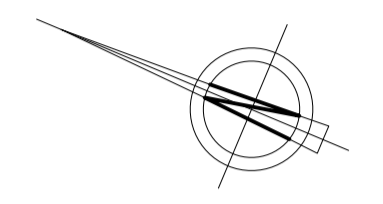
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Scale Ruler



REVISION	DATE	DESCRIPTION
c.	18.07.22	Updated in line with Clients comments - TR
b.	06.05.22	Dimensions added - TR
a.	05.05.22	Dimensions added - TR

AMENDMENTS

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CLIENT
Campbell Buchanan

PROJECT
Residential Development;
Hill Close
Brington
HUNTINGDON
PE28 5EH

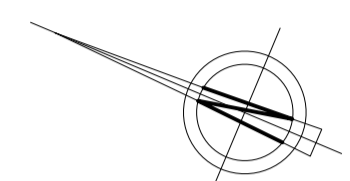
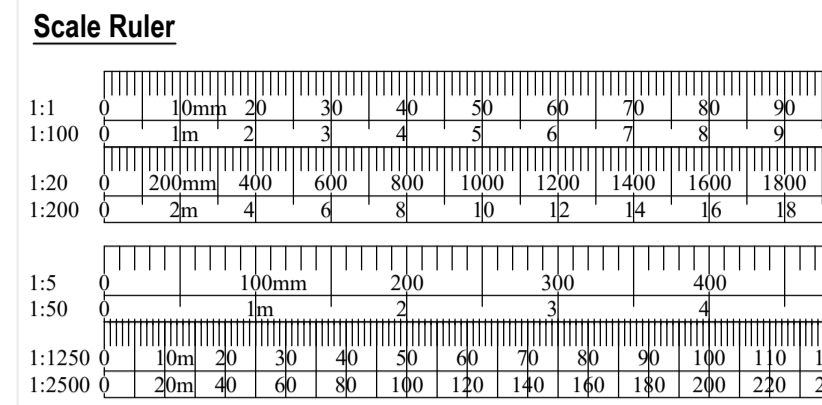
DRAWING TITLE
Proposed Block Plan

DATE	SCALE	PAPER SIZE	DRAWN
March 2022	1 : 500	A1	TR

PROJECT REF.	DRAWING NO. & REVISION
2018 / 38	26c

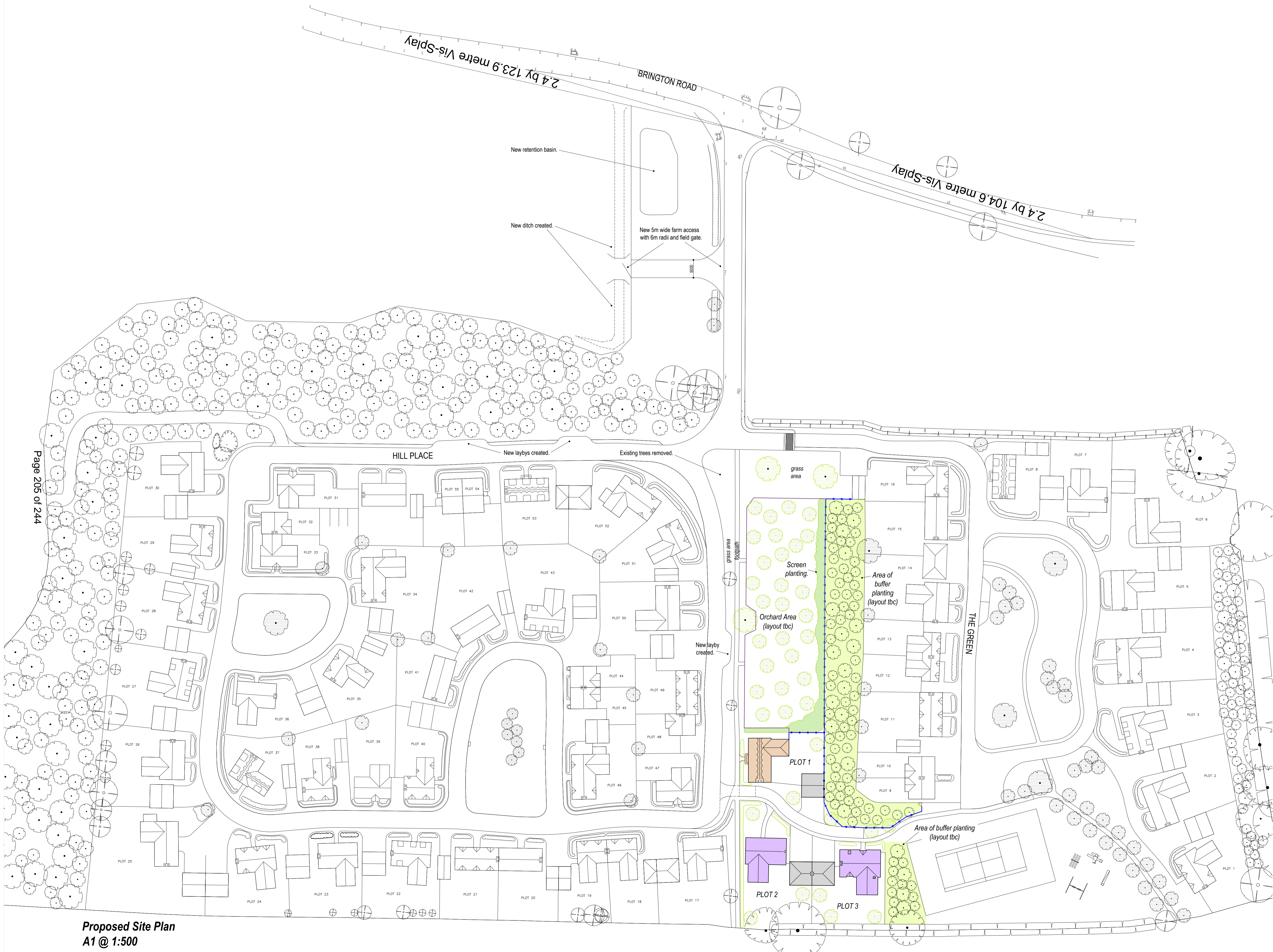
Proposed Block Plan
A1 @ 1:500

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KEY:

- 1no. - 3 Bed @ 157 m² / 1689 ft² - Plot 1
- 2no. - 4 Bed @ 183 m² / 1900 ft² - Plots 2 & 3 (as per previous plots 23 & 24).
- New estate fencing.
- New 1.8m high close-boarded timber fencing.
- Indicative new tree planting.



REVISION	DATE	DESCRIPTION
k.	18.09.23	Amended in line with plot 3 changes - TR
j.	18.07.22	Amended in line with Clients comments - TR
i.	05.04.22	Colour added to planting buffer by tennis court - TR
h.	30.03.22	Updated with Plot 16 parking space - TR
g.	21.12.21	Updated for planning submission - TR
f.	10.12.21	Updated for planning submission - TR
e.	04.10.21	Updated in line with Clients comments - TR
d.	19.09.21	Updated in line with Clients comments - TR
c.	16.08.21	Updated in line with Clients comments - TR
b.	19.07.21	Updated in line with Clients comments - TR
a.	12.07.21	Updated in line with Clients comments - TR

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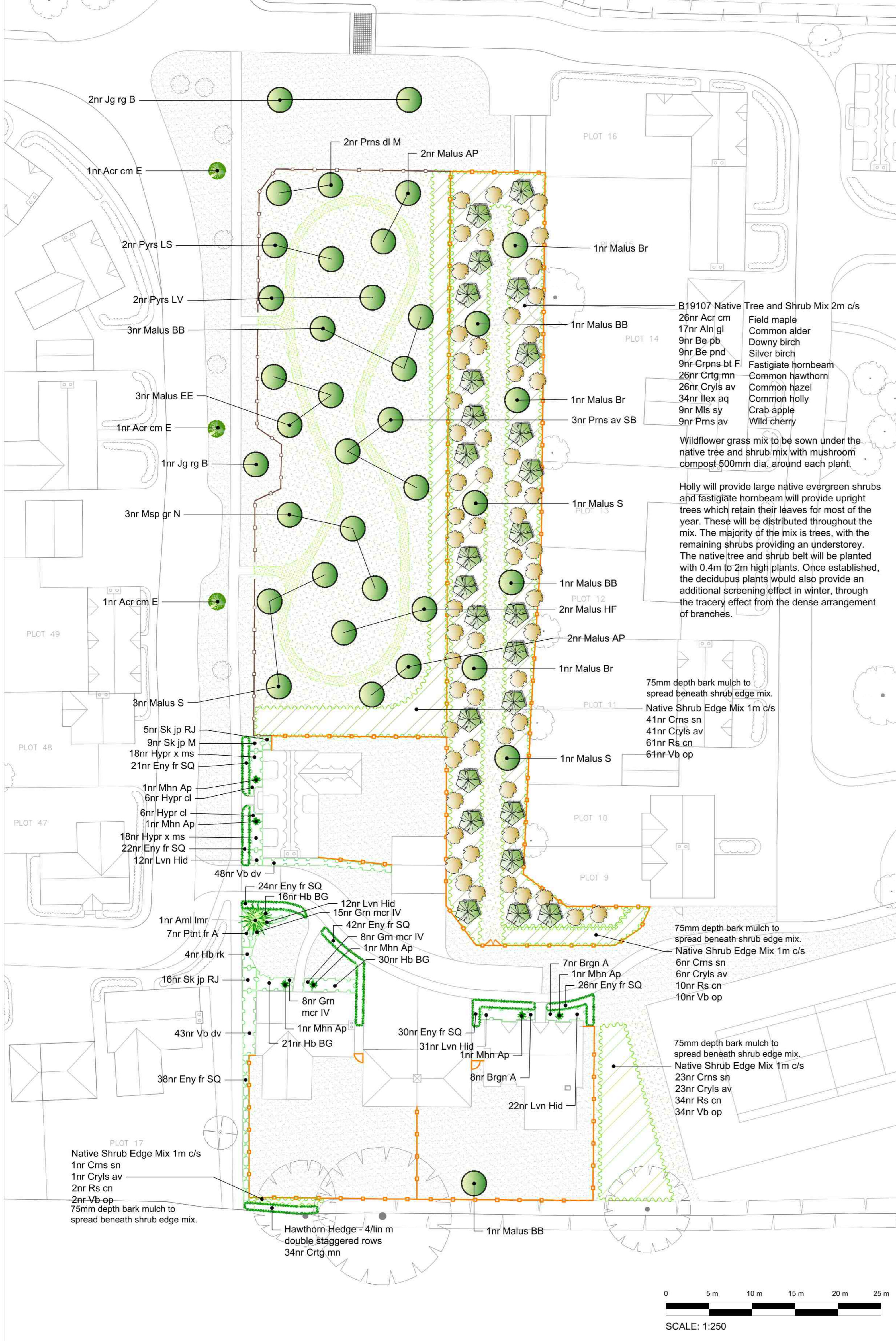
CLIENT
 Campbell Buchanan

PROJECT
 Residential Development;
 Hill Close
 Brington
 HUNTINGDON
 PE28 5EH

DRAWING TITLE
 Proposed Overall Site Plan

DATE	SCALE	PAPER SIZE	DRAWN
June 2021	1:500	A1	TR
PROJECT REF.	DRAWING NO. & REVISION		
2018 / 38	20k		

Proposed Site Plan
A1 @ 1:500



Key

- Existing tree
- Proposed Acer campestre 'Elsrijk' (350-375cm when planted)
- Proposed fruit or Walnut tree (1.75-2m high when planted)
- Proposed feathered tree (1.75-2m high when planted)
- Proposed whip tree (0.6-0.8m high when planted)
- Proposed native trees and shrubs
- Proposed native shrubs
- Proposed hedge
- Proposed shrubs
- Proposed specimen shrub
- Proposed wildflower grassland
- Proposed amenity grass
- Proposed mown footpath
- Proposed 1.8m high close board fence
- Proposed 1.8m high close board maintenance gate
- Proposed knee rail fence

Planting Schedule

B19107 Native Tree and Shrub Mix 2m c/s

Abb	Name	Age	Height	Form	Grth	Bkls	Root	Crtr	Cts	%	Notes	Quan
Acr cm	Acer campestre	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17
Aln gl	Alnus glutinosa	11	80-100cm	Standard	4-6cm	0	B	10	10	10.00%		17
Be pb	Betula pubescens	11	80-100cm	Standard	4-6cm	0	B	10	10	10.00%		17
Crns sn	Crataegus monnina	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17
Cryls av	Corylus avellana	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17
Malus BB	Malus baccata	11	80-100cm	Standard	4-6cm	0	B	10	10	10.00%		17
Malus Br	Malus brachycarpa	11	80-100cm	Standard	4-6cm	0	B	10	10	10.00%		17
Malus S	Malus sylvestris	11	80-100cm	Standard	4-6cm	0	B	10	10	10.00%		17
Malus Vb op	Malus vulgaris	11	80-100cm	Standard	4-6cm	0	B	10	10	10.00%		17
Prns av	Prunella avium	11	80-100cm	Standard	4-6cm	0	B	10	10	10.00%		17
Prns av	Prunella avium	11	80-100cm	Standard	4-6cm	0	B	10	10	10.00%		17

Hawthorn Hedge - 4/lin m double staggered rows

Abb	Name	Age	Height	Form	Grth	Bkls	Root	Crtr	Cts	%	Notes	Quan
Crta mn	Crataegus monnina	11	80-100cm	Standard	4-6cm	0	B	10	10	10.00%		34

Native Shrub Edge Mix 1m c/s

Abb	Name	Age	Height	Form	Grth	Bkls	Root	Crtr	Cts	%	Notes	Quan
Crns sn	Crataegus monnina	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17
Cryls av	Corylus avellana	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17
Rs cn	Rosa canina	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17
Vb op	Viburnum opulus	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17

Native Shrub Edge Mix 1m c/s

Abb	Name	Age	Height	Form	Grth	Bkls	Root	Crtr	Cts	%	Notes	Quan
Crns sn	Crataegus monnina	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17
Cryls av	Corylus avellana	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17
Rs cn	Rosa canina	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17
Vb op	Viburnum opulus	12	100-120cm	Standard	4-6cm	0	C	10	10	10.00%		17

Tree

Abb	Name	Age	Height	Form	Grth	Bkls	Root	Crtr	Cts	%	Notes	Quan
Acr cm	Acer campestre 'Elsrijk'	24	300-350cm	Standard	10-12cm	0	C	25-30	10	10.00%		9

SPECIFICATION NOTES

General:

- Works to be undertaken in accordance with these specification notes, and otherwise stated in the Softworks Specification used for the existing Hill Close development. Where there are differences, these notes take precedent. Before planting the Landscape Contractor is to ascertain the exact location of existing or as-built services and is responsible for ensuring that services are not damaged. If necessary, planting locations may need to be adjusted locally.
- No plant species, size or location should be altered without prior approval of the Landscape Architect.

Clearance:

- All areas of proposed planting/seeding to be cleared of building debris, stones, brick and concrete over 50mm in diameter; contamination; and soils unsuitable for landscape purposes on housing developments. These should be removed from site. All areas of proposed planting/seeding affected by construction works to be relieved of compaction by ripping to a depth of 600mm at 1m centres, in two directions, except below the canopies of existing trees and where underground services exist or where directed not to by on-site engineers.

Topsoil:

- Existing topsoil to be utilised. Imported topsoil to make up any deficit in the topsoil requirements for the proposed planting scheme shall be in accordance with BS 3882:2015 and of multi-purpose grade, free from plant material prohibited under the Wildlife and Countryside Act 1981, that contains no concentration of chemical contaminants that would cause a significant risk to human health and the environment and tested by a competent testing laboratory for its suitability for use in a housing development.

Supply of plants

- All plants shall be supplied in accordance with the National Plant Specification, by nurseries accredited by the Horticultural Trade Association.

Planting:

- The Contractor is to provide Plant Passports to the Client, Principal Designer, Clerk of Works and Landscape Architect upon purchase of plants, prior to planting.

- It is the Contractor's responsibility to ensure all provided plants are pest and disease free, and with plant passports provided (as per above points). If the contractor suspects any newly planted trees or any existing trees are contaminated with any notifiable pest or disease, they should report it immediately to <https://www.gov.uk/guidance/report-a-tree-pest-or-disease-overview> as well as the Client, project Landscape Architect and Main Contractor (if appropriate). Do not attempt to destroy or move infected material yourself. For additional information relating to reporting a notifiable pest or disease additional information can be found at the following link: <https://www.gov.uk/guidance/report-a-tree-pest-or-disease-overview>.

Groundworks and Planting:

- All groundworks and planting operations shall be in accordance with the following British Standards: BS 3936 Part 1 (1992) Nursery Stock - Specification for Trees and Shrubs Part 3 (1990) Nursery Stock - Specification for Fruit Plants Part 10 (1990) Nursery Stock - Specification for Ground Cover Plants BS 4428 (1989) Code of Practice for General Landscape Operations (excluding Hard Surfaces) BS 3882 (2015) Specification for Topsoil BS 8545 (2014) Trees: from nursery to independence in the landscape. Recommendations
- Effective weed control shall be carried out prior to cultivation. All planting areas to be cultivated to a depth of 300mm except below the canopies of existing trees where pits should be hand dug.
- All plants to be watered before and after planting and as necessary during the growing season to ensure planting thrives.

Planting Protection

- Rabbit Protection - tree species (Transplants and Half Standards) to be fitted with brown spiral tree guards 60cm x 38mm - to be biodegradable (e.g. 'Treebio', green), or otherwise approved. Native shrubs (other than Holly) to be fitted with shrub shelters 60cm high x 130-160mm diameter, (e.g. Shrub Shelter by 'Tubex') - to be made of photodegradable and recyclable, or otherwise approved. Holly to be fitted with shrub shelters 60cm high x 144-200mm diameter - to be made of photodegradable and recyclable, (e.g. Shrub Shelter Plus by 'Tubex') or otherwise approved.

Timing of works:

- Planting shall occur within the next planting season after completion of the built development. Bare root stock to be planted in the next appropriate planting season (Nov-March) after completion of the built development.

Transplanted Trees:

- Trees to be transplanted are standard trees that have been recently planted. Work to be undertaken during the dormant season and in frost free conditions. Receiving pit to be excavated prior to lifting tree. Hole to be dug for the receiving location which is larger than the rootball to be excavated. Excavate tree root ball, seeking to retain as many roots as possible, whilst maintaining an intact ball of contained growing medium, as far as possible, and immediately transferring to the receiving pit. Water in immediately following transplanting.

Individual Tree Planting:

- Tree pits - tree pits to be 1.0 x 1.0 x 0.6m deep, or 300mm larger than root ball, whichever is larger. Compost - peat-free tree and shrub planting compost by thoroughly incorporating it with topsoil into planting holes at the ratio of 40 litres per tree
- Tree Staking - where trees are located in lines, tree stakes to be angled in the same orientation parallel to adjacent roads.
- Angled Staking: trees shall be supported by 1No. 50mm dia x 1800mm long stakes angled to avoid rootball with 400mm above ground level, tied with Standard Nylon Reinforced Rubber Belts, 37.5mm with Extra Large Pads spacer - supplied by J Toms Ltd or similar approved supplier.
- Mulching - surface mulching to individual trees in grass shall be 75mm depth of ornamental bark mulch, 500mm diameter around tree.
- Irrigation: all fruit trees and transplanted trees to fitted with a Treagator Original Slow Release Watering Bag.

Native Hedgerow Planting

- Hedgerows plants to be planted in pits to be 300 x 300mm, or 200mm larger than root ball, whichever is larger.
- Compost - Apply peat-free tree and shrub planting compost by thoroughly incorporating it with topsoil into planting holes at the ratio of 8 litres per shrub.
- Mulch - surface mulching to all plant beds shall be 75mm depth of ornamental bark mulch.
- Density - double staggered rows, planted at 4/lin m (500mm c/s), with rows 0.5m apart.

Native and Ornamental Shrub Planting:

- Shrub pits - pits to be 300 x 300mm, or 200mm larger than root ball, whichever is larger.
- Compost - Apply peat-free tree and shrub planting compost by thoroughly incorporating it with topsoil into planting holes at the ratio of 8 litres per shrub.
- Mulch - surface mulching to all plant beds shall be 75mm depth of ornamental bark mulch.

Woodland Mix - Tree and Shrub Planting:

- Bare root trees and cell grown plants - to be planted at their natural level in holes larger than the extent of the root system. Roots of bare root plants shall be spread out to their natural position and cut back to remove any minor damage to roots and shoots. Backfill material shall be trodden down firmly to remove any air pockets around the root system. New planting within Mixes to be planted in single species groups of between 3 and 13 plants. Mulch - Surface mulching comprising of 75mm depth of well-spent mushroom compost (or otherwise approved) to be supplied and spread to all plants at 500mm diameter around each plant, with intervening areas maintained as bare earth through weed-kill applications.

Grass:

- 'Amenity Grass Seed mix to be 'PM120 Slowgrowth' mix by DLF UK or similar approved.
- Wildflower Grass mix within the orchards, beneath native tree and shrub mix, and grass maintenance path to be Emeragade Seeds EM2 - Standard General Purpose Meadow Mixture at 4g/m². Carry out a toppling in the first year. In successive years cut to a height of 15mm in late July, with cuttings left to dry for 1-7 days and subsequently removed. Implementation and maintenance to be undertaken in accordance with the Biodiversity Enhancement Plan, October 2015, submitted as part of the planning application.

Maintenance:

- Maintenance - shall be carried out in accordance with the Biodiversity Enhancement Plan and Soft works specification. The key requirement are to keep all planting areas weed free within public areas. Any dead, diseased or seriously damaged plants (including those vandalised and transplanted) shall be replaced during the following planting season during the 5 Year Establishment Period. These are to be replaced with plants of the same size and species to that originally specified. Mulch to shrubs and trees within public areas to be topped up annually to maintain 75mm depth until established.
- Maintenance shall be carried out to all amenity grass verges and areas of open space with regular maintenance cuts (approx.) 12-15/year to 38mm height and once a year for wildflower grassland cut to a height of 15mm height in July with arisings left to dry for 1-7 days and then removed off-site for composting.

Foundations:

- Foundations must be designed by an engineer/architect to take into account the potential effect of existing trees.

A Amendments following client feedback RG 28/03/2022

Letter Revision By Date

Project
Hill Close, Brighton

Drawing
Planting Plan

Status
Planning

Job No. B19107

Dwg. No. 403A

Scale 1:250@A1

Drawn RG

Checked GF

Date 24.03.2022

the landscape partnership
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Bedford 01234 261315

Woodbridge 01394 380509

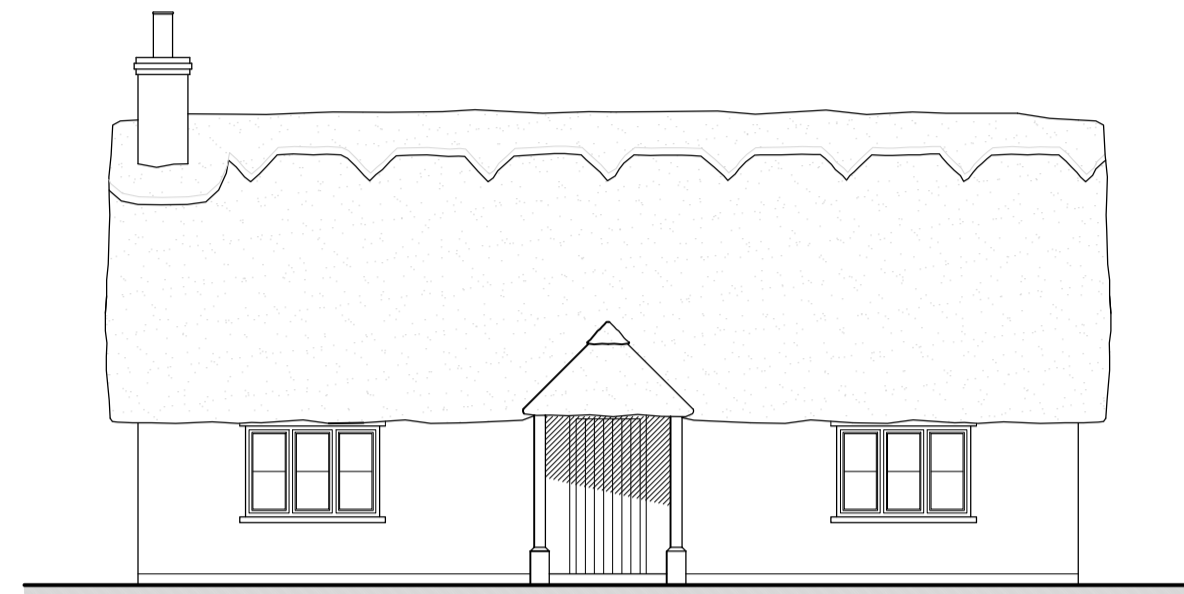
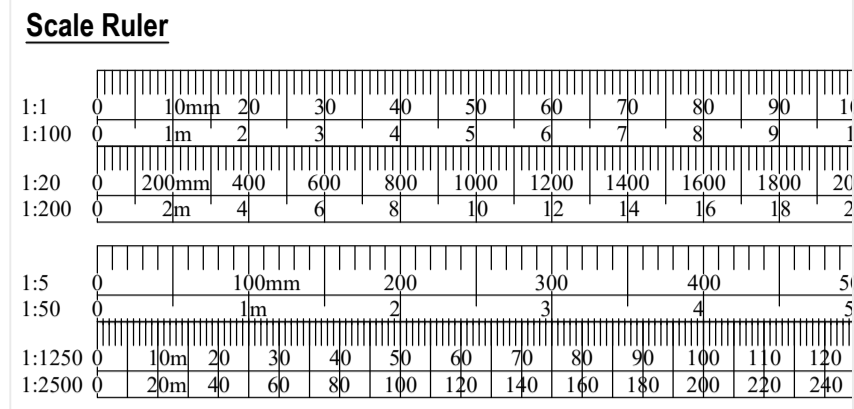
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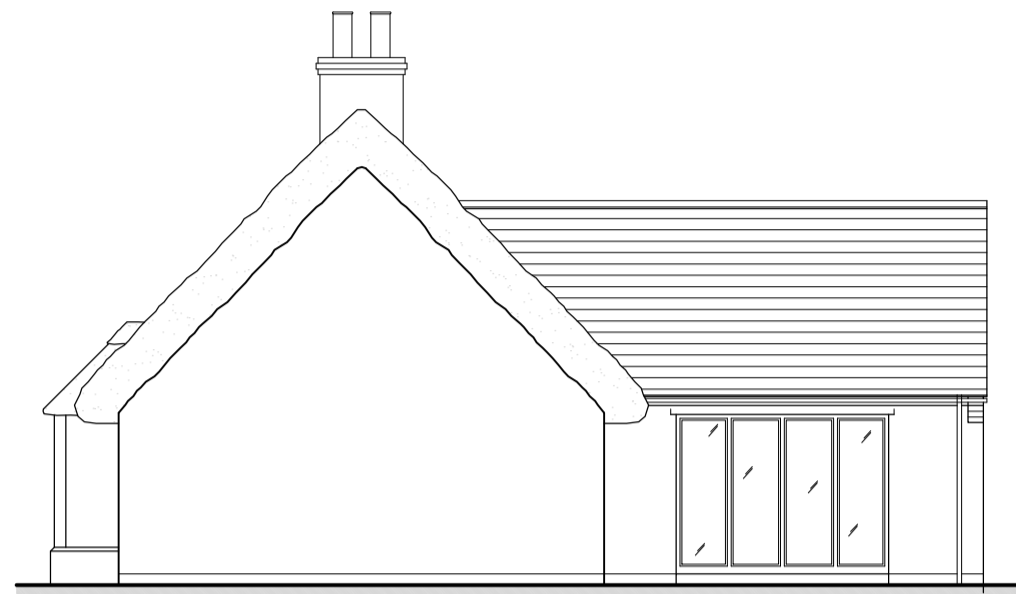
North

Do not scale off drawing. All dimensions & Levels are to be checked on site. Any discrepancies must be reported to the landscape architect immediately.
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Proposed Front (Street) Elevation
A1 @ 1:100



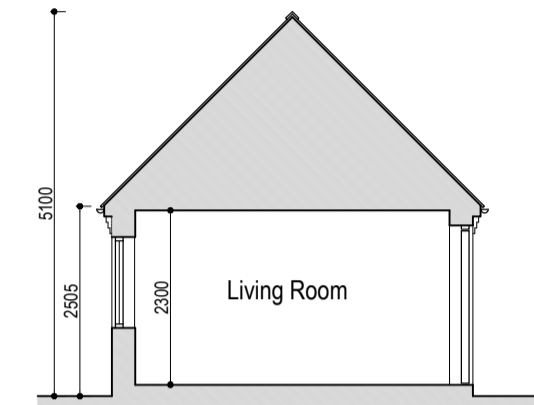
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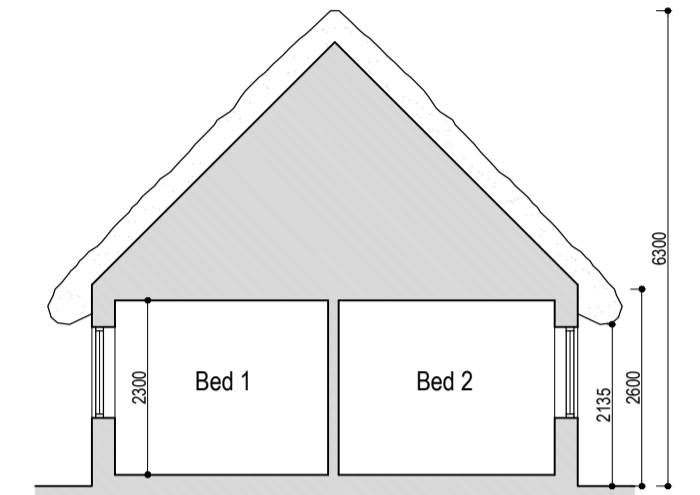
Proposed Rear Elevation
A1 @ 1:100



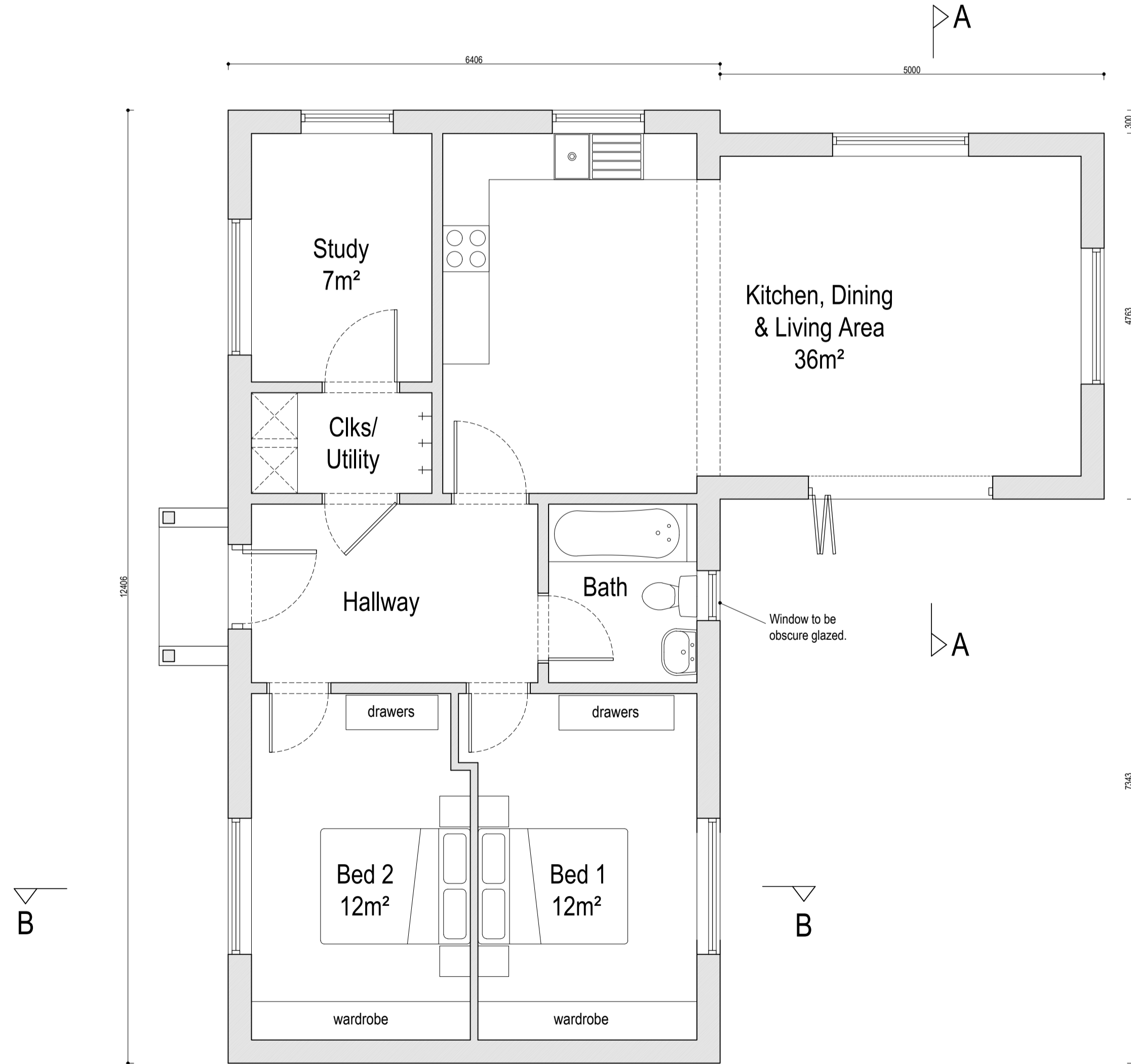
Proposed Side Elevation
A1 @ 1:100



Proposed Section A-A
A1 @ 1:100



Proposed Section B-B
A1 @ 1:100



Proposed Floor Plan
A1 @ 1:100

REVISION	DATE	DESCRIPTION
f.	18.07.23	Updated in line with Clients comments - TR
e.	02.06.23	North point amended - TR
d.	01.06.23	Updated in line with Clients comments - TR
c.	23.05.23	Altered to a bungalow - TR
b.	05.05.22	Updated with additional dimensions - TR
a.	21.12.21	Updated in line with Clients comments - TR

AMENDMENTS

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CLIENT

Campbell Buchanan

PROJECT

Residential Development;
Hill Close
Brington
HUNTINGDON
PE28 5EH

DRAWING TITLE

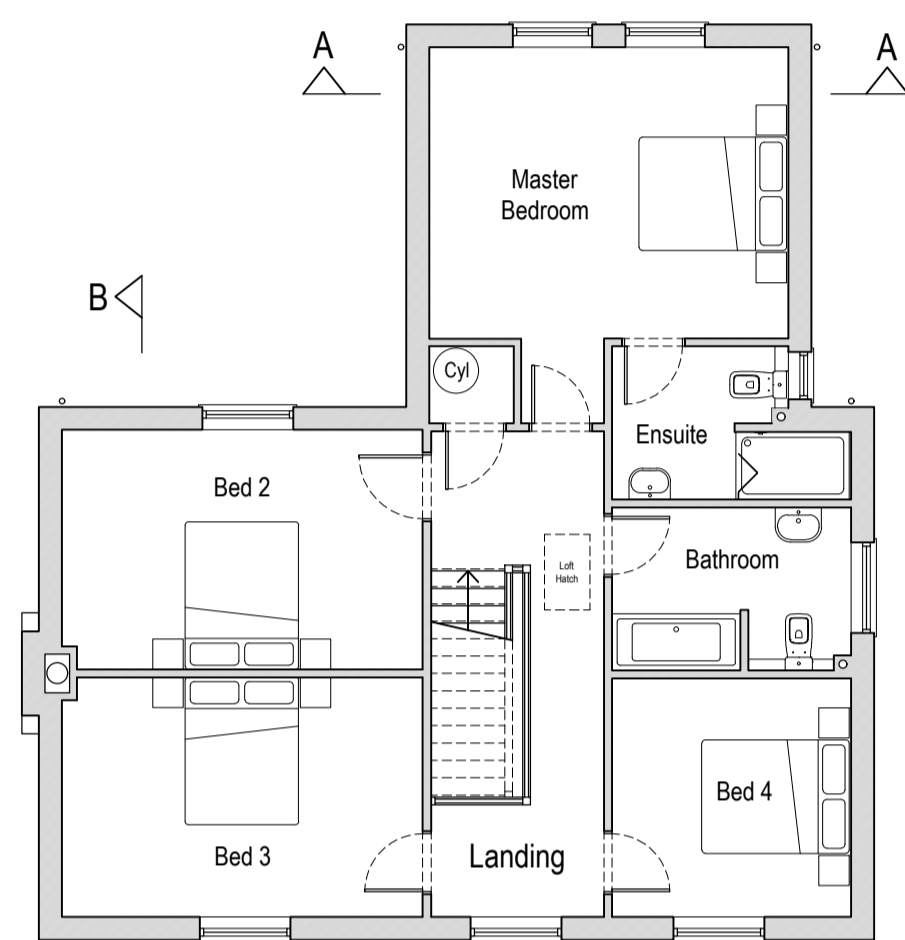
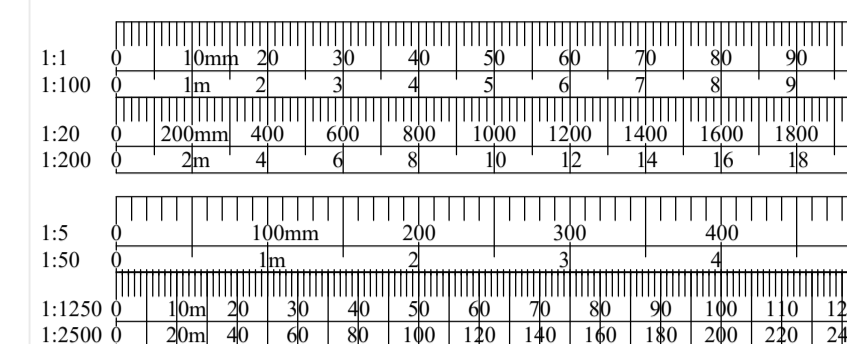
Planning Drawing;
Proposed Plot 1 Elevations, Plans & Section

DATE	SCALE	PAPER SIZE	DRAWN
Dec 2021	1:100	A1	TR

PROJECT REF.	DRAWING NO. & REVISION
2018 / 38	21f

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Scale Ruler



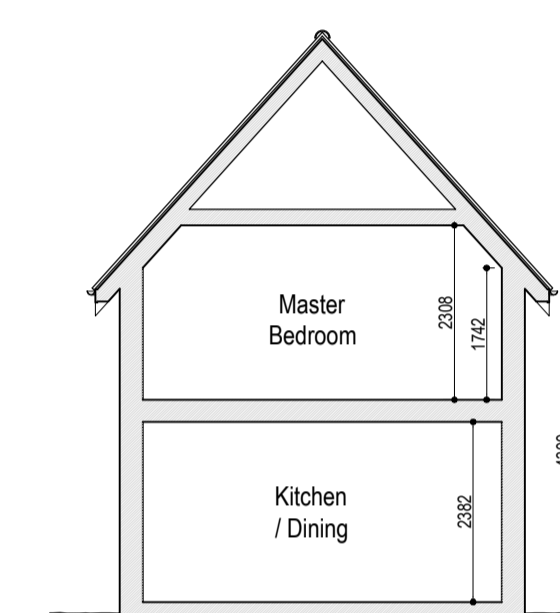
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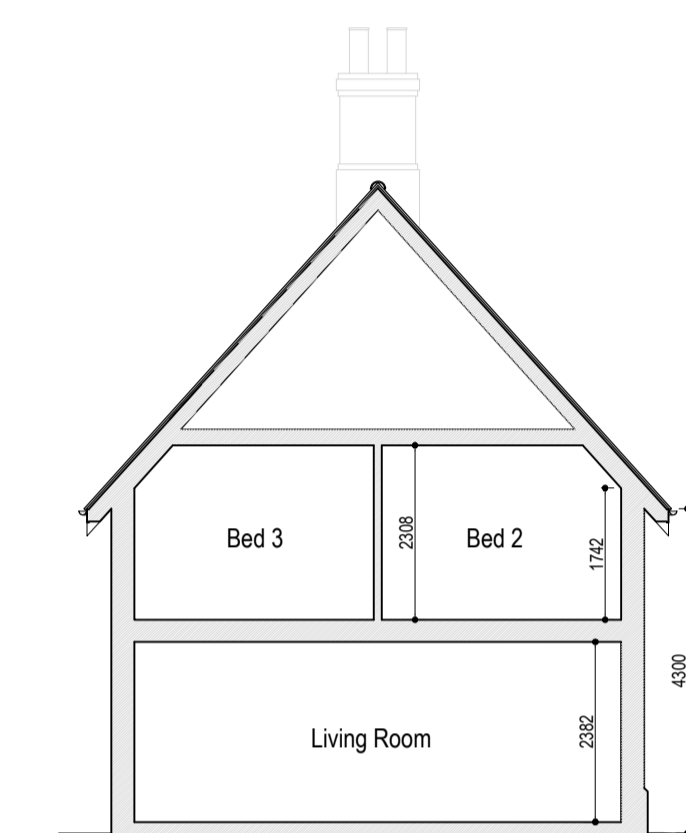
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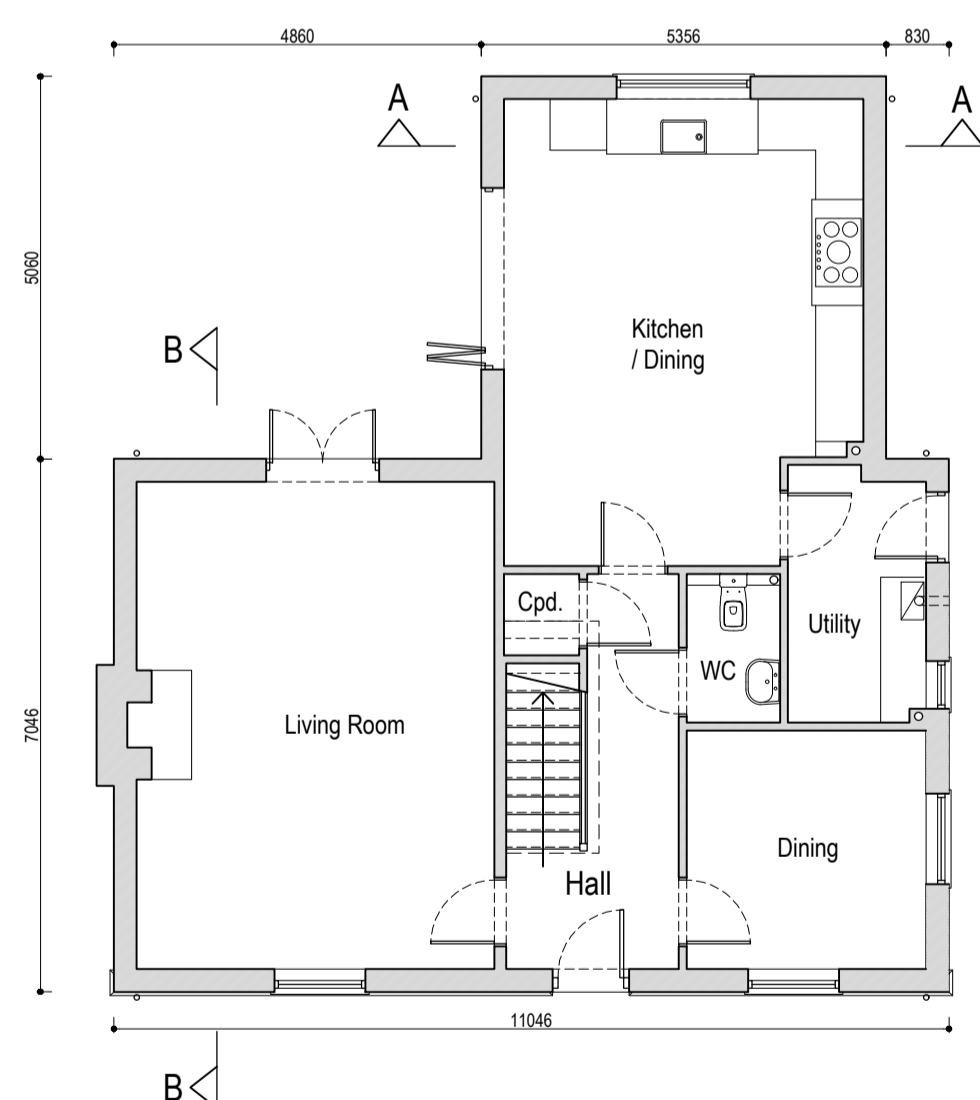
Proposed Side Elevation
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Proposed Section A-A
A1 @ 1:100



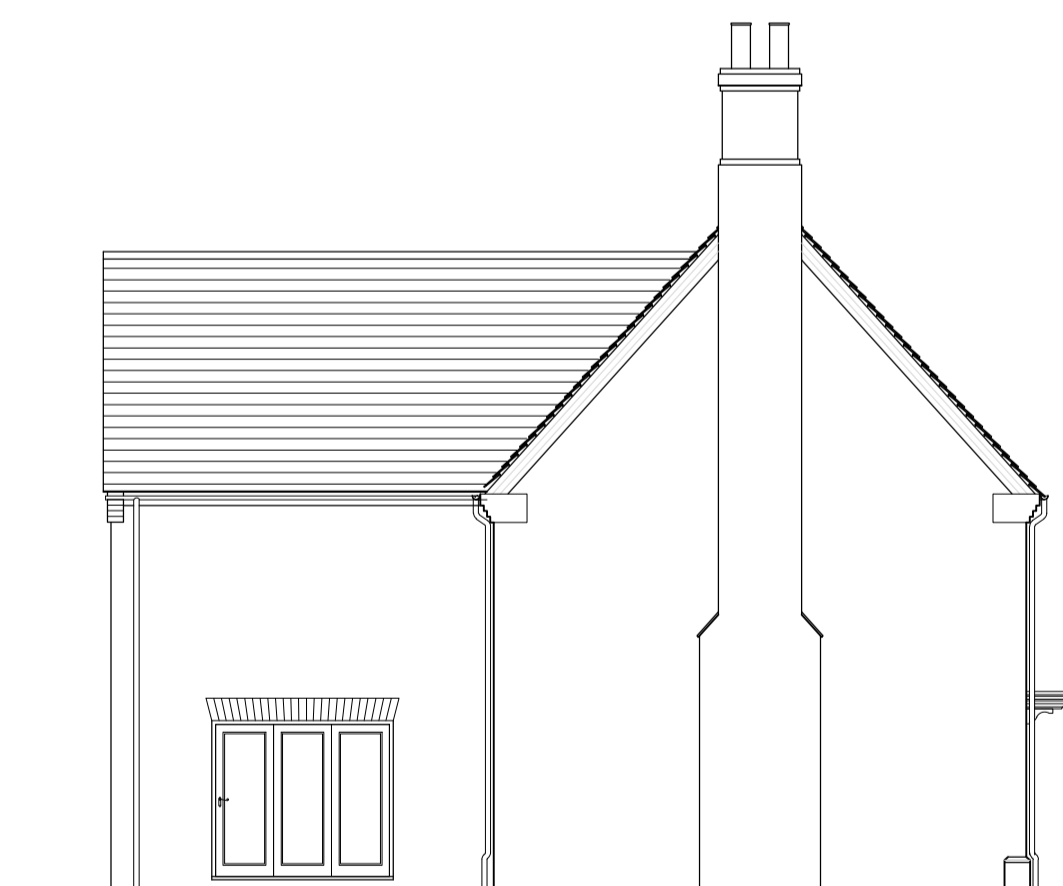
Proposed Section B-B
A1 @ 1:100



Proposed Ground Floor Plan
A1 @ 1:100



Proposed Rear Elevation
A1 @ 1:100



Proposed Side Elevation
A1 @ 1:100

REVISION	DATE	DESCRIPTION
c.	06.05.22	Updated with additional dimensions - TR
b.	05.05.22	Updated with additional dimensions - TR
a.	22.12.21	Updated in line with Clients comments - TR

AMENDMENTS

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CLIENT

Campbell Buchanan

PROJECT

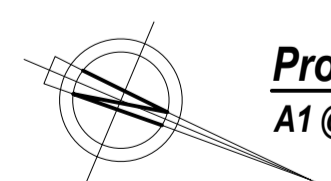
Residential Development;
Hill Close
Brighton
HUNTINGDON
PE28 5EH

DRAWING TITLE

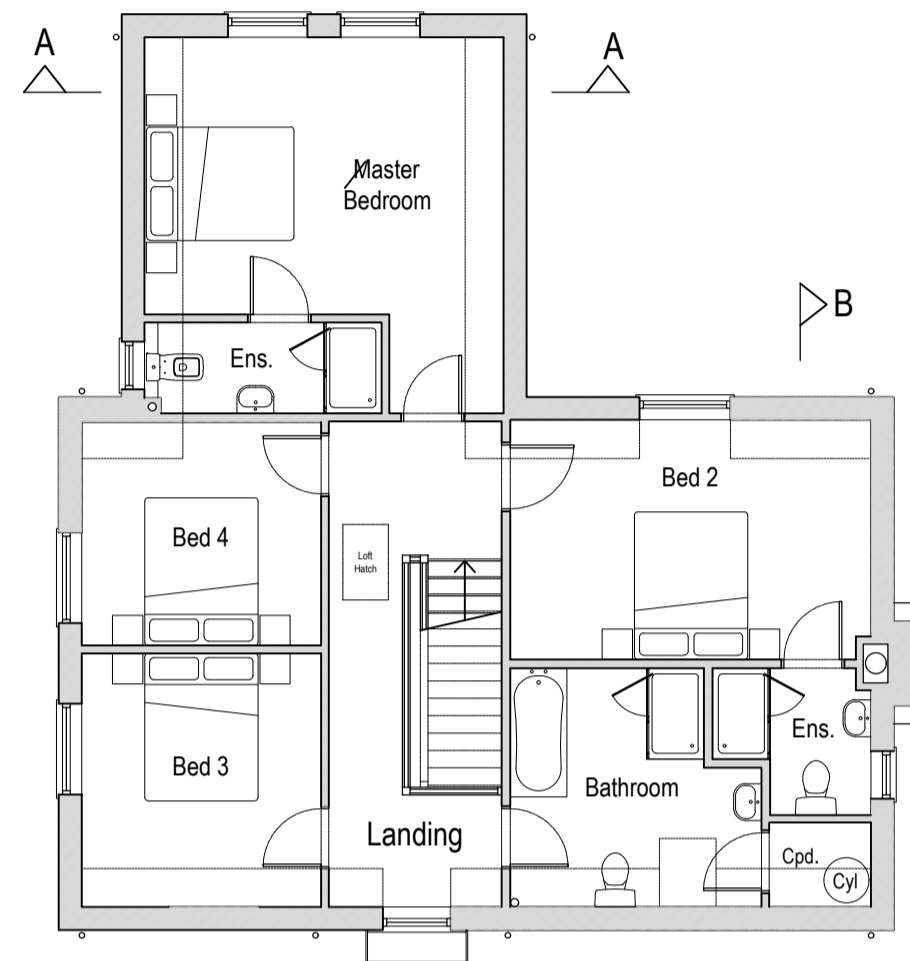
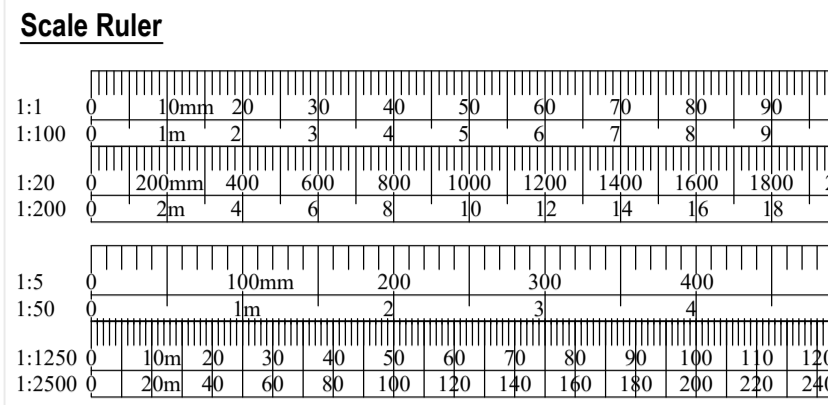
Planning Drawing;
Proposed Plot 2 Elevations, Plans & Section

DATE	SCALE	PAPER SIZE	DRAWN
Dec. 2021	1:100	A1	TR

PROJECT REF.	DRAWING NO. & REVISION
2018 / 38	22c



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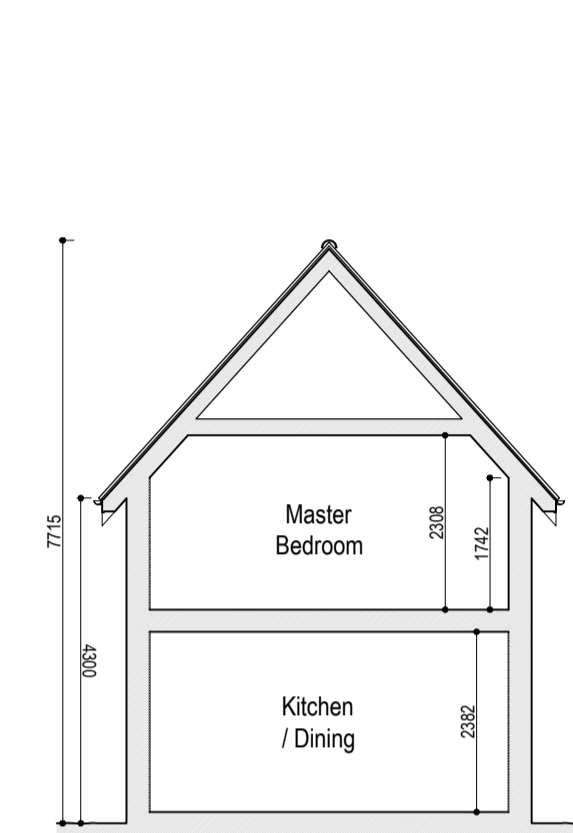
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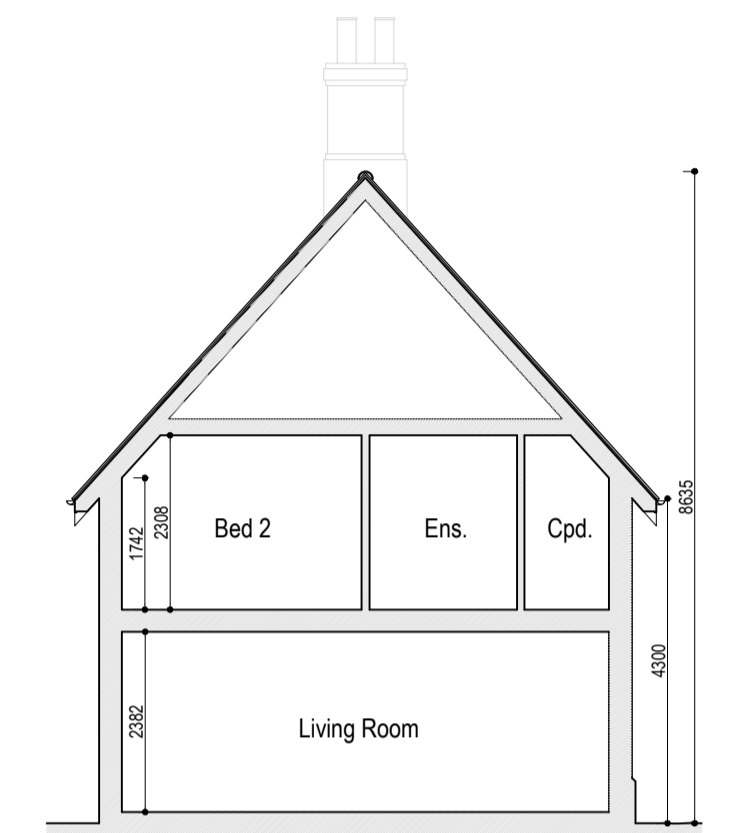
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Proposed Side Elevation
A1 @ 1:100

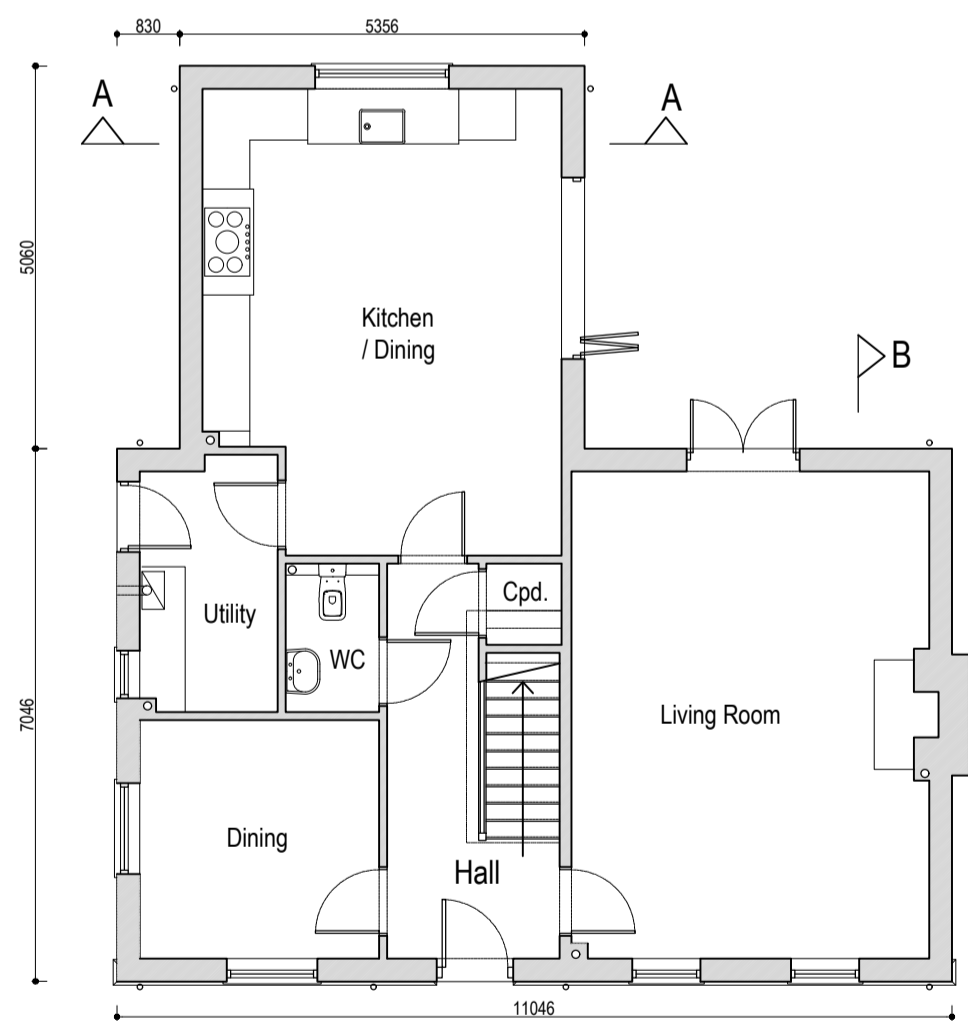


Proposed Section A-A
A1 @ 1:100



Proposed Section B-B
A1 @ 1:100

Page 209 of 244



Proposed Ground Floor Plan
A1 @ 1:100



Proposed Rear Elevation
A1 @ 1:100



Proposed Side Elevation
A1 @ 1:100

REVISION	DATE	DESCRIPTION
e.	18.09.23	Updated following clients comments - TR
d.	15.09.23	Updated following planners comments - TR
c.	06.05.22	Updated with additional dimensions - TR
b.	05.05.22	Updated with additional dimensions - TR
a.	22.12.21	Updated in line with Clients comments - TR

AMENDMENTS

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CLIENT

Campbell Buchanan

PROJECT

Residential Development;
Hill Close
Brighton
HUNTINGDON
PE28 5EH

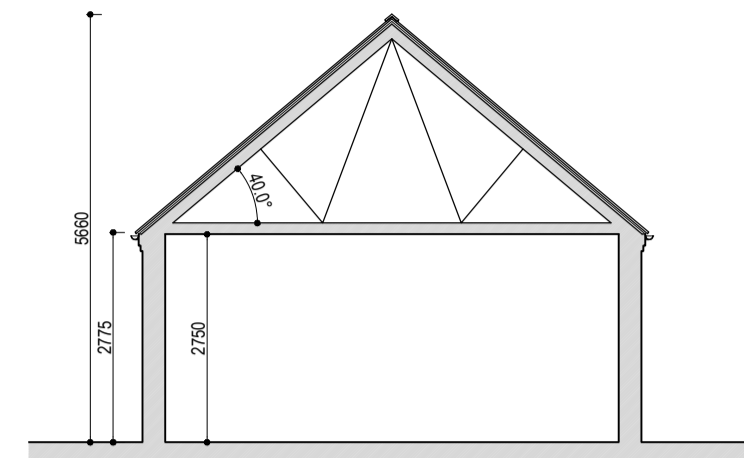
DRAWING TITLE

Planning Drawing;
Proposed Plot 3 Elevations, Plans & Section

DATE	SCALE	PAPER SIZE	DRAWN
Dec. 2021	1:100	A2	TR

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2018 / 38	23e

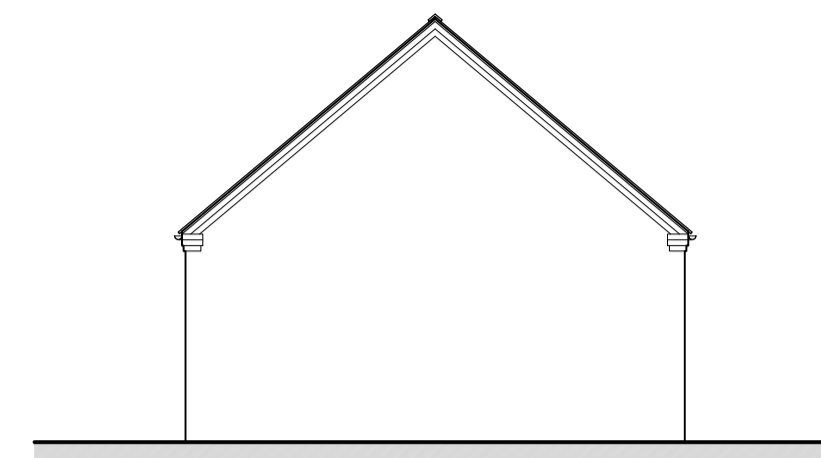
PLOT 1 GARAGE



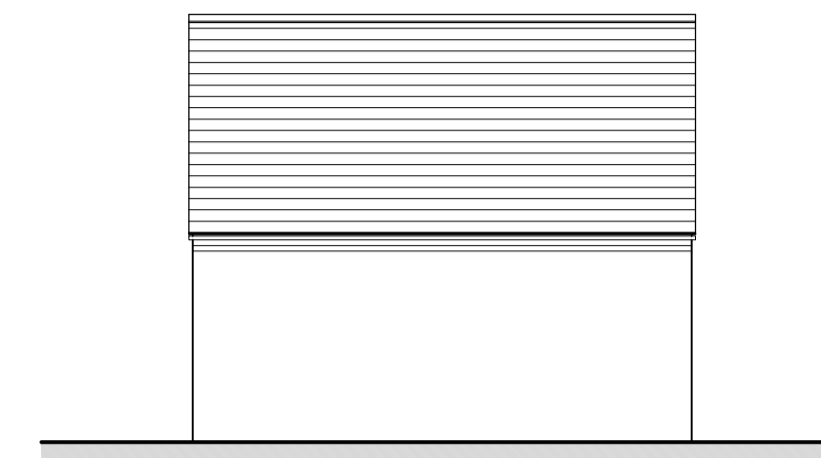
Proposed Section
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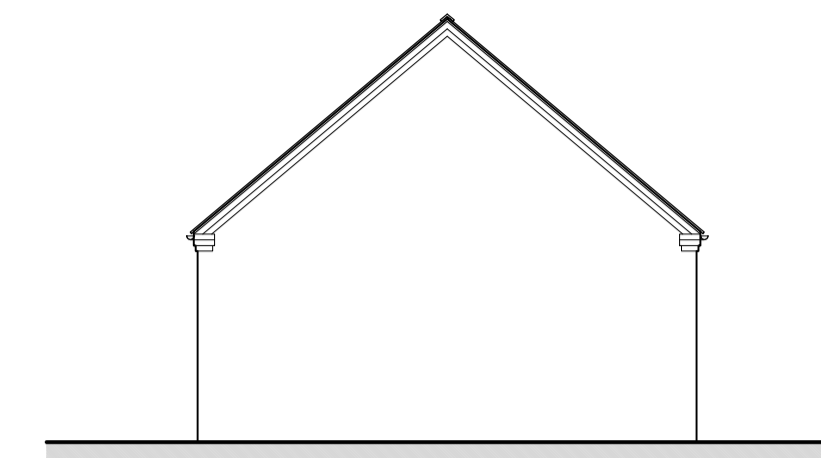
Proposed Front Elevation
A1 @ 1:100



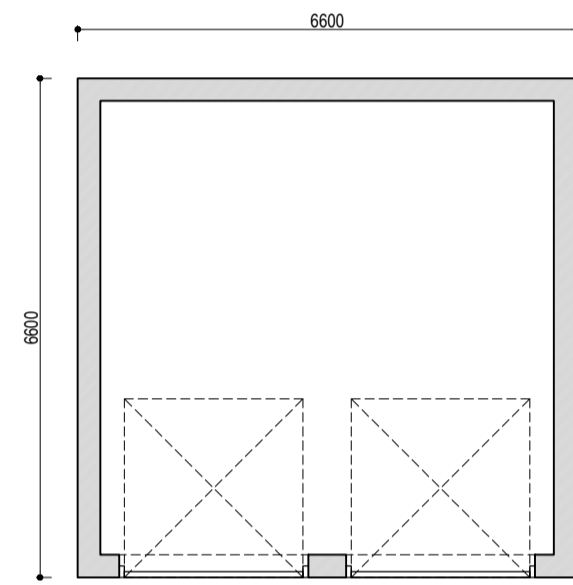
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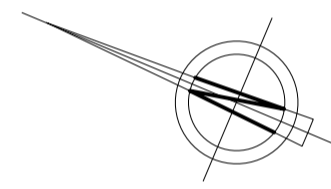
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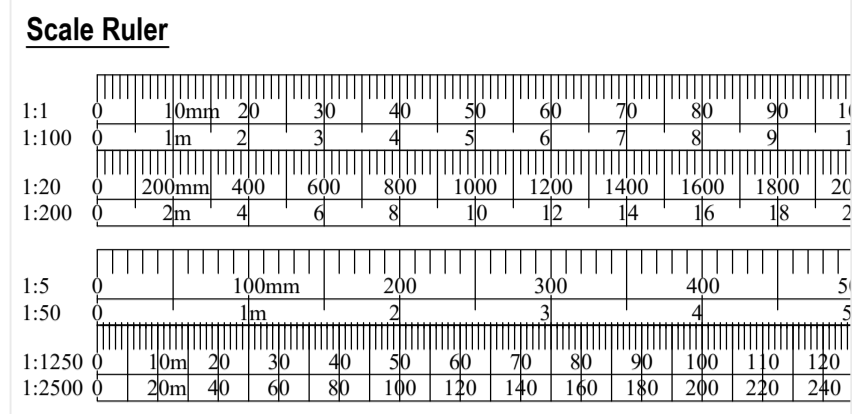
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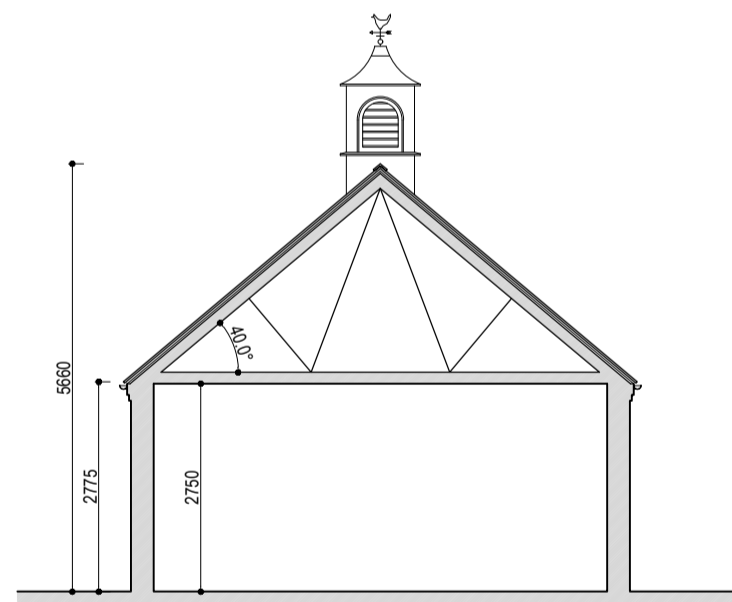
Proposed Floor Plan
A1 @ 1:100



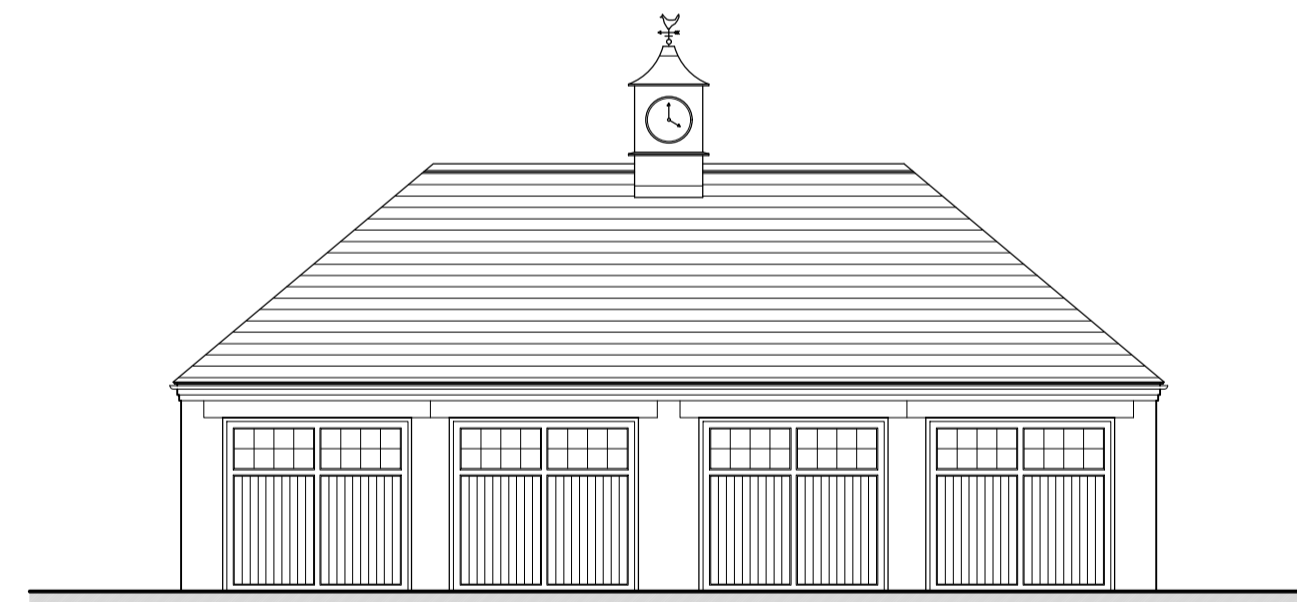
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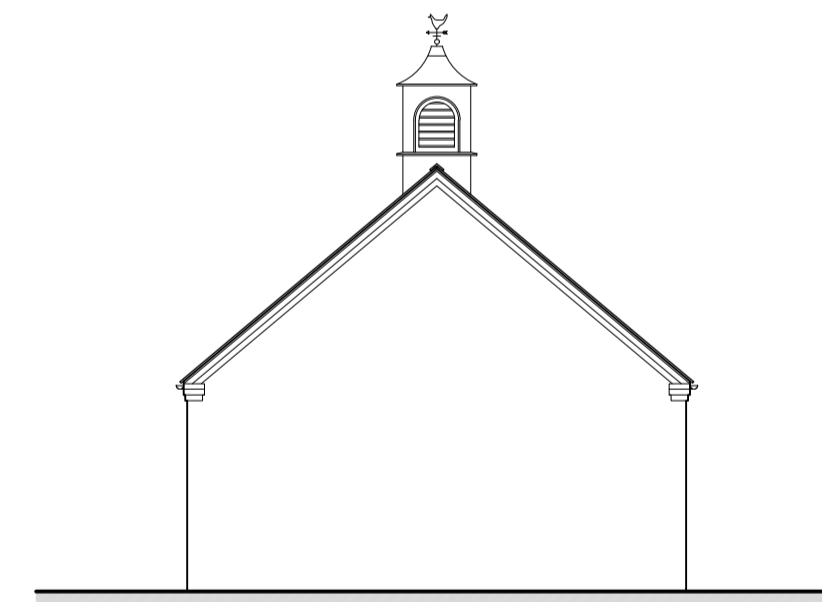
PLOTS 2 & 3 GARAGE



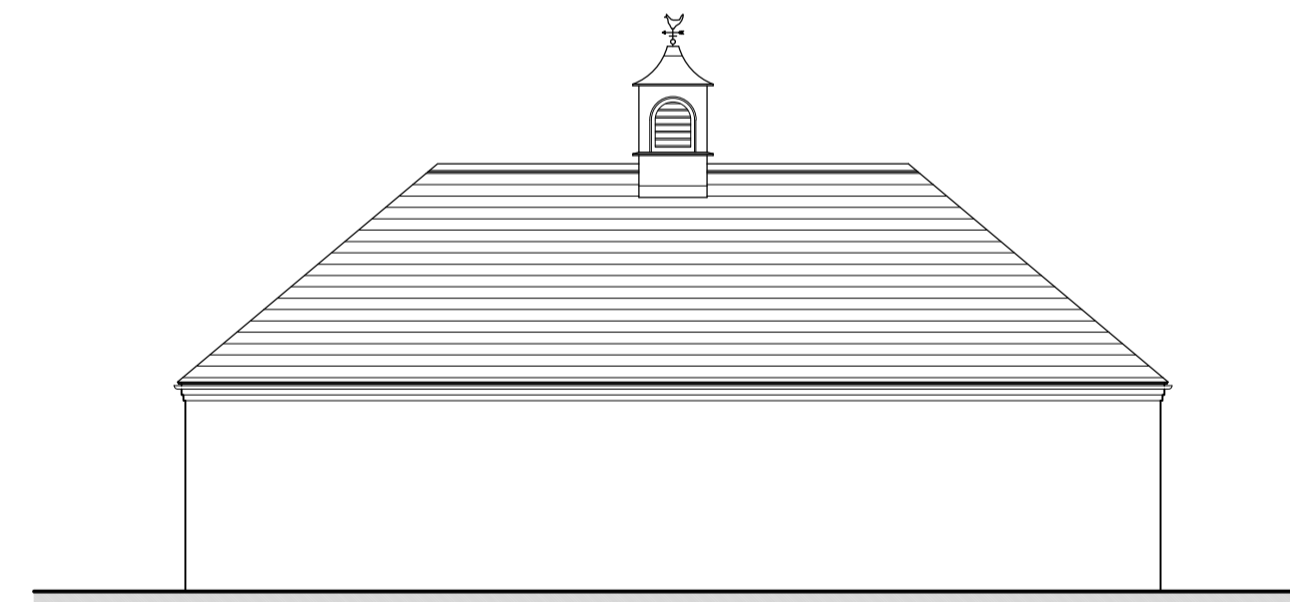
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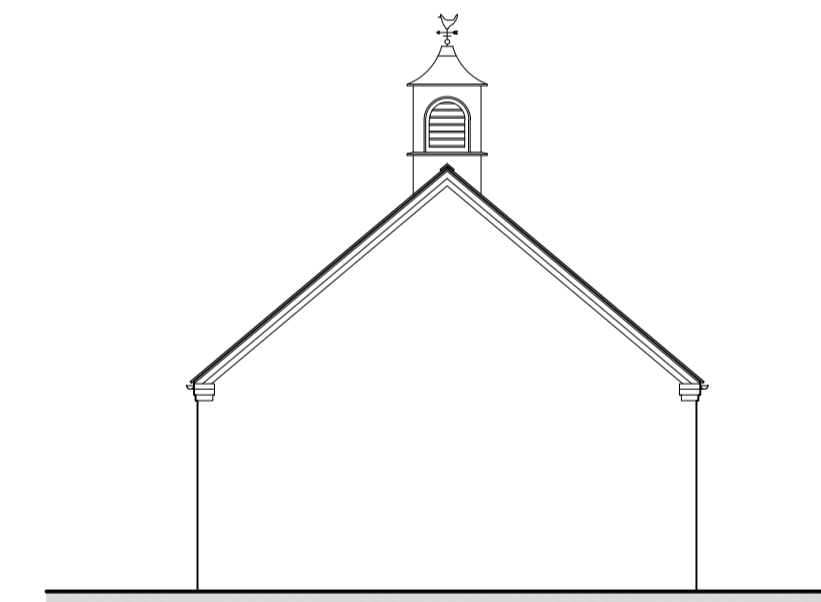
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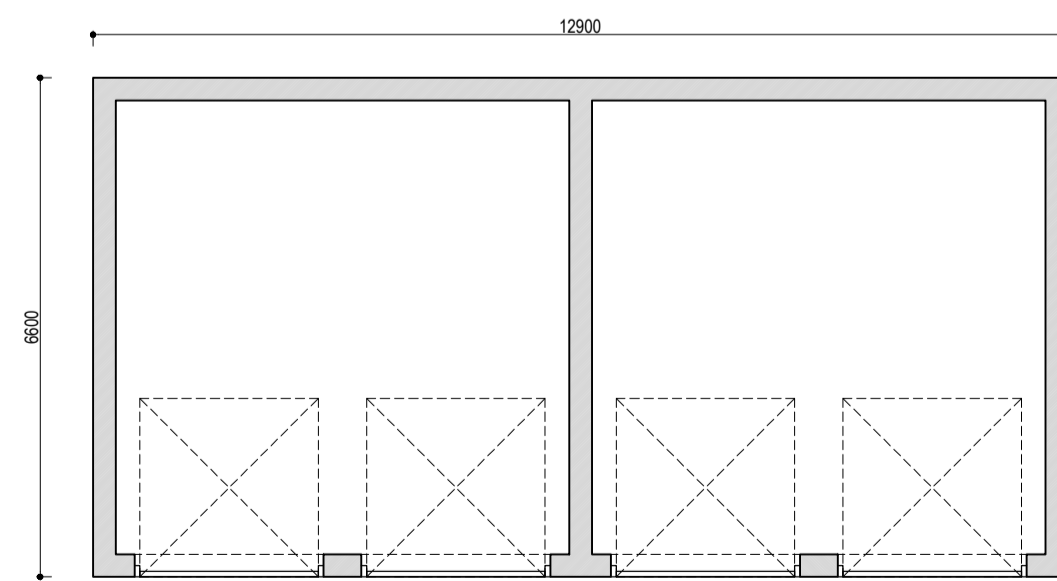
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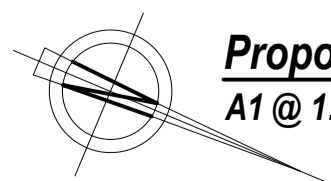
Proposed Rear Elevation
A1 @ 1:100



Proposed Side Elevation
A1 @ 1:100



Proposed Floor Plan
A1 @ 1:100



REVISION	DATE	DESCRIPTION
a.	21.12.21	Hipped roof to Plots 2 & 3 garage structure - TR

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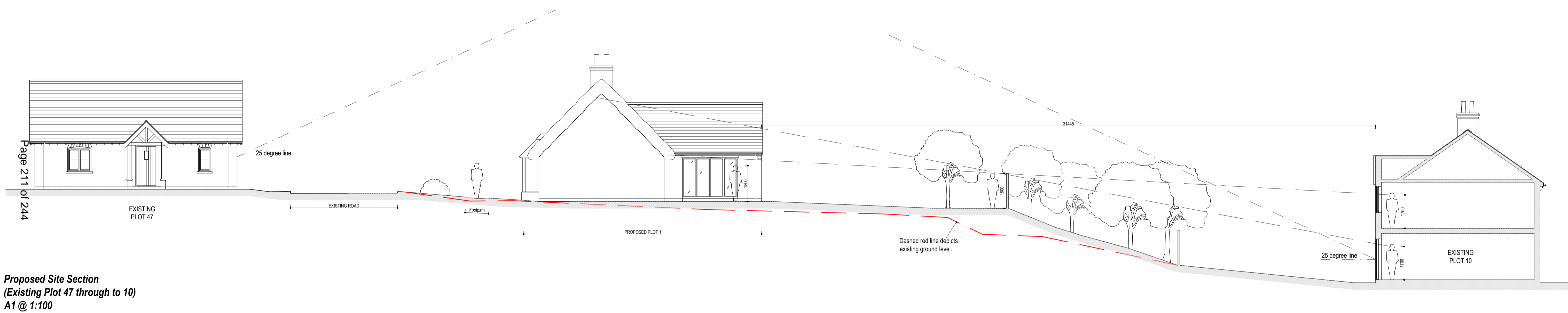
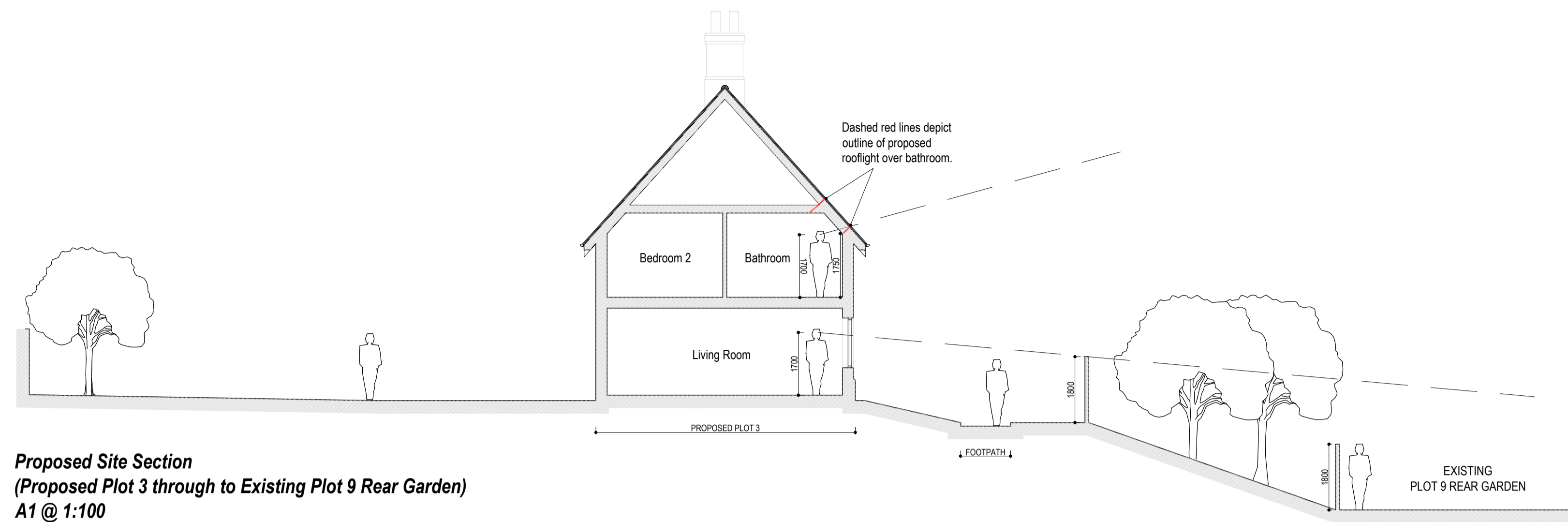
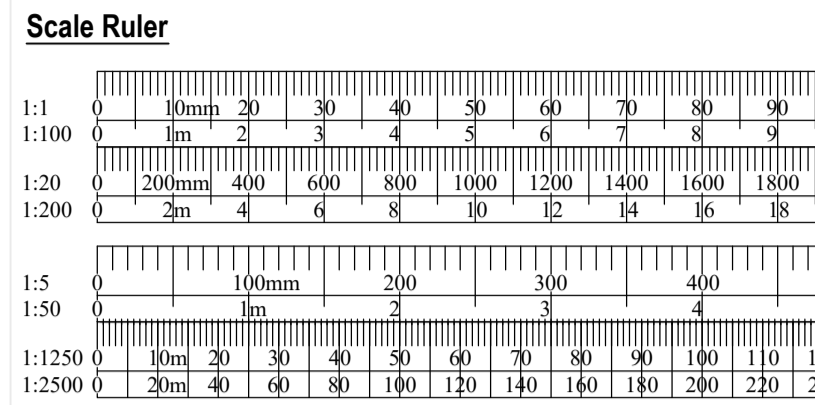
PROJECT
Residential Development;
Hill Close
Brington
HUNTINGDON
PE28 5EH

DRAWING TITLE
Planning Drawing;
Proposed Garage Elevations, Plans & Section

DATE Dec. 2021	SCALE 1:100	PAPER SIZE A1	DRAWN TR
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PROJECT REF. 2018 / 38	DRAWING NO. & REVISION 24a
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REVISION	DATE	DESCRIPTION
b.	19.09.23	Updated following clients comments - TR
a.	18.09.23	Updated with additional site section - TR

AMENDMENTS

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 Brington
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DRAWING TITLE

Proposed Site Sections

DATE	SCALE	PAPER SIZE	DRAWN
July 2023	1:100	A1	TR

PROJECT REF.	DRAWING NO. & REVISION
2018 / 38	28b

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DEVELOPMENT MANAGEMENT COMMITTEE April 2024

Case No: 23/02284/FUL

Proposal: Change of use from hardstanding storage area to container storage area.

Location: Agricultural Buildings, Depden Lodge Farm, Ermine Street, Godmanchester

Applicant: Godmanchester Self Storage (M B & R A) Jensen

Grid Ref: 526152 267171

Date of Registration: 24th November 2023

Parish: GODMANCHESTER

RECOMMENDATION - REFUSAL

This application is referred to the Development Management Committee (DMC), in accordance with the current Scheme of Delegation as the officer recommendation is contrary to that of the Parish Council.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

- 1.1 The application site is a small collection of agricultural buildings and hardstanding to the West of the A1198 a single carriageway road from Godmanchester to Papworth Everard. The application site is 0.324 ha.
- 1.2 The site is accessed from the roundabout to the northeast of the site which joins the newly formed A1198 and A14 intersection along a small hard surfaced track.
- 1.3 The site is bounded by open agricultural land, partially screened by small but established trees and hedge line. The wider area is characterised by open farmland with ancillary agricultural buildings.
- 1.4 In terms of constraints the site does not fall within a Conservation Area, there are no Listed Buildings in the immediate vicinity and no protected trees. The site lies within Flood Zone 1 and comprised of Grade 2 agricultural land.

Proposal

- 1.5 This is a retrospective planning application to seek retention of a 'Change of use from hardstanding storage area to container storage area'.
- 1.6 The site currently has 55 blue shipping containers situated on the boundaries of the site to the north, south, and east and under the cover of the canopy of the agricultural building to the centre of the site. Each container is approximately 6 metres in length, 2.4 metres in width and 2.6 metres in height rented for private storage to paying customers. The proposal does not indicate any change in the colour of the containers nor specify the number of containers the site would be used for. The containers are sited on a mixture of concrete hardstanding that skirts the agricultural building and hardcore hardstanding to the boundaries of the site.
- 1.7 The proposed change of use application is accompanied by detailed plans that demonstrate the layout of containers on site. The plans show that to the south of the site 20 containers create a 48 metre long by 2.6-metre-high block, to the east 15 containers create a 36 metre long by 2.6 metres high block and to the north 10 Containers create a 24 metre long by 2.6 metre block. The remaining 10 containers are spread 6 beneath the canopy of the former agricultural building and 4 to the west of the site.
- 1.8 The current permitted land use is agricultural, and the proposal seeks to change that use to class B8 Storage.
- 1.9 The proposal seeks to maintain the current access from the roundabout to the northeast of the site which joins the newly formed A1198 and A14 intersection.
- 1.10 The site history includes a similar proposal submitted in November 2022 was refused by members at the May 2023 Development Management Committee for the following reasons;
 1. The proposed development site lies in the open countryside which would represent an encroachment of built development into the countryside, outside of the built-up area of any settlement. The proposal does not accord with any of the limited or specific opportunities for development in the countryside as set out within the policies of Huntingdonshire's Local Plan, which restrict development in the countryside to protect the intrinsic character and beauty of the countryside. Furthermore, the proposed development would result in the loss of Grade 2 Agricultural Land for which exceptional circumstances have not been demonstrated. The proposal would therefore be contrary to the requirements of Policies LP2 and LP10 of the Huntingdonshire Local Plan (2019). The proposed development is contrary also to Policy GMC of the Godmanchester Neighbourhood Plan 2017 - 2036, due to its location and outside of the detailed settlement boundary. The

proposal does not seek to preserve and protect the most versatile agricultural land.

2. The proposed development by virtue of its design, scale and massing would appear as a prominent and alien feature in the countryside, failing to integrate with the surrounding landscape and failing to respect the intrinsic character and beauty of the countryside. The proposal would therefore be contrary to Policies LP10, LP11, LP12 and LP19 of the Huntingdonshire Local Plan (2019).

3. The application contains insufficient submitted information to demonstrate that the proposal would not result in harm to the residential amenity of neighbouring buildings. The proposal is therefore contrary to Policy LP14 of the Huntingdonshire Local Plan (2019).

4. The application contains insufficient submitted information to enable the impact of the proposed development on the local highway network to be assessed. The proposal therefore fails to comply with the requirements of Policy LP17 of the Huntingdonshire Local Plan (2019) and Section 9 of the National Planning Policy Framework (2021).

5. The application contains insufficient submitted information to demonstrate that the proposal would not result in harm to trees, hedgerows and hedges and would not result in harm to protected species or wildlife. The proposal is therefore contrary to Policy LP30 and LP31 of the Huntingdonshire's Local Plan (2019), The Wildlife and Countryside Act (1981), the Habitats and Protected Species Regulations (2017) and the National Planning Policy Framework (2021).

1.11 This application has been accompanied by the following:

- Planning Statement
- Design and Access Statement
- Swept Path Analysis
- Responses to Landscape and Highways comments
- Lighting Report

1.12 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2. NATIONAL GUIDANCE

2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives - economic, social, and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the

Framework is a presumption in favour of sustainable development (paragraph 11).'

- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment.
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and are material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP 1 Amount of Development
 - LP 2 Strategy for Development
 - LP 4 Contribution to Infrastructure Delivery
 - LP 5 Flood Risk
 - LP 6 Wastewater Management
 - LP10 The Countryside
 - LP 11 Design Context
 - LP 12 Design Implementation
 - LP 14 Residential Amenity
 - LP 15 Surface Water
 - LP 16 Sustainable Travel
 - LP 17 Parking Provision and Vehicle Movement
 - LP 19 Rural Economy
 - LP 30 Biodiversity and Geodiversity
 - LP 31 Trees, Woodland, Hedges and Hedgerows
 - LP 33 Rural Buildings
 - LP 37 Ground Contamination and Groundwater Pollution
- 3.2 Godmanchester Neighbourhood Plan 2017 – 2036
Policy GMC1 'The importance of the countryside setting'
- 3.3 Supplementary Planning Documents/ Guidance
- Huntingdonshire Design Guide SPD (2017)
 - Developer Contributions SPD (2011)
 - Huntingdonshire Landscape and Townscape Assessment (2007)
 - Cambridgeshire Flood and Water SPD 2017
 - Huntingdonshire Tree Guidance Note 3
 - Annual Monitoring Review regarding housing land supply.

Local For full details visit the government website Local policies

4. PLANNING HISTORY

- 4.1 19/00120/ENOTH – Enforcement Enquiry - Site operating as self-storage and storage of caravans that are being lived in without applying for permission.
- 4.2 22/00361/FUL - Change of use from hardstanding storage area to container storage area - REFUSED at DMC 24.05.2023

This application was refused due to

- *the principle of development within the countryside;*
- *the design, scale and massing in the countryside;*
- *insufficient submitted information to enable the impact of the proposed development on the local highway network to be assessed;*
- *insufficient submitted information to demonstrate that the proposal would not result in harm to the residential amenity of neighbouring buildings; and*
- *insufficient submitted information to demonstrate that the proposal would not result in harm to trees, hedgerows and hedges and would not result in harm to protected species or wildlife.*

5. CONSULTATIONS

- 5.1 Godmanchester Parish Council recommend approval with the following comment - This recommendation is based on the information available to the Planning Portfolio at the time of the meeting.
- 5.2 On initial consultation CCC Highways deferred the application for further information with the following comments.
- No information has been provided regarding the number of vehicle movements associated with the 55 containers and the number of movements when it was open storage.
 - It has not been stated whether the access is still used for agricultural vehicles.
 - No information has been provided for tracking showing the simultaneous use of two of the largest vehicles likely to use the site.

The applicant has subsequently provided information to address the initial comments received from CCC Highways who now support the proposal in terms of highway safety subject to conditions to mitigate the effect of the proposed development upon the public highway.

- 5.4 Environmental Health were consulted and raised no objections.

5.5 HDC Arboricultural Officer was consulted and raises objections to the proposal as is of the opinion the proposal would cause harm to the trees given the close proximity.

5.6 Landscape Officers were consulted and raised the following concerns and requirements of the application.

- Lack of clarity on the visual effects of the proposed development as unclear to what extent the containers are visible below and through the canopies of the trees and the blue colour of the containers are incongruous with their surroundings.

RECOMMENDATION: A visual survey of the site is undertaken by a suitably qualified landscape consultant, to establish any mitigation that may help in better integrating the proposed development with the rural landscape.

- Concern that the containers have been stored within the root protection areas of existing trees, and that this may have an impact on the health of the trees over time.

RECOMMENDATION: A tree survey and arboricultural impact assessment should be submitted to help inform decision-making on this matter. We recommend that the council's tree officer is consulted on this matter, but in landscape terms we would not be supportive of proposals that could lead to the loss of existing trees due to impacts on landscape character.

- Mitigation proposals are likely to include moving the containers outside of the root protection areas, and additional native hedgerow planting to the outer perimeter of the site.

- The submitted 'Change of Use – Lighting' document by Green Environmental Consultants suggests that the site and its surrounds are not likely to be highly attractive to bats, and as such the lighting scheme is not likely to disturb roosting, foraging or commuting bats. Environmental records support this assessment, and as such we do not have any concerns regarding the lighting as installed, and latterly adjusted by the assessing ecologist.

- In terms of biodiversity enhancement/net gain, environmental records suggest white letter hairstreak butterflies are present in the area.

RECOMMENDATION: To help support this rare species, we recommend new mixed native hedge planting should include min 20% Elm. The hedges should be maintained at a height of under 3m to prevent it from becoming susceptible to Dutch Elm Disease.

6. REPRESENTATIONS

- 6.1 One comment has been received in objection of the application as follows;
- Highway safety.

7. ASSESSMENT

7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".

7.3 In Huntingdonshire the Development Plan consists of:

- Huntingdonshire's Local Plan to 2036 (2019)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)
- Relevant Neighbourhood Plans - Godmanchester Neighbourhood Plan (2017)

7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

7.5 The main matters for consideration are:

- The Principle of Development
- Design, Visual Amenity, and the impact upon the Character of the Area
- Impact on Heritage Assets
- Impact upon Residential Amenity
- Highways Safety, Parking Provision and Access
- Biodiversity
- Trees
- Flood Risk
- Accessible and Adaptable Homes

- Water Efficiency
- Other issues

The Principle of Development

- 7.8 Policy LP1 and LP2 of the Huntingdonshire Local Plan deals with sustainability and the strategy for growth in the district and states that sustainable levels, locations and forms of development will be sought in accordance with the stated objectives and policies of the plan. (i.e. - to concentrate development in locations which provide, or have the potential to provide, the greatest access to services and facilities and encourage limited development for rural communities to support social and economic sustainability). Policy LP2 goes further and states that the locations for growth will be within the four spatial planning areas which are designated reflecting their status as the district's traditional market towns and most sustainable centres. Huntingdon including Brampton and Godmanchester and the strategic expansion location of Alconbury Weald are included as one of the four spatial planning areas where the majority of employment and retail growth will be focused.
- 7.9 In determining the relevant policies in which to consider the application the location of the site has been assessed within the guidance laid out within Huntingdonshires Local Plan to 2036.
- 7.10 The Local Plan (Page 53) includes the following definition with regards to the built-up area: *“A built-up area is considered to be a distinct group of buildings that includes 30 or more homes. Land which relates more to the group of buildings rather than to the surrounding countryside is also considered to form part of the built-up area”*.
- 7.11 Pages 53-55 of the Local Plan set out guidance on frequently arising situations to establish if sites fall within a built-up area. In assessing this application, it is considered that the following interpretation is relevant *“The built-up area will exclude isolated properties or areas of ribbon and fragmented development which are physically and visually detached from the main built form”*.
- 7.12 The site is located approximately 1.5 miles to the south of Godmanchester and 1.6 miles West of Hilton and is clearly both physically and visually detached from the main built form of both Godmanchester and Hilton. It is therefore considered that the application site primarily relates to the open countryside and relevant to the application of Policy LP10 (The Countryside) of Huntingdonshire’s Local Plan as set out further below.
- 7.13 Policy LP10 relates to the countryside and seeks to support a thriving economy while protecting the character of existing settlements and recognising the intrinsic character of the surrounding countryside. It goes on to state that development in

the countryside will be restricted to the limited and specific opportunities as provided for in other policies of this plan.

All development in the countryside must:

- a. seek to use land of lower agricultural value in preference to land of higher agricultural value:
 - i. avoiding the irreversible loss of best and most versatile land (grade 1 to 3a) where possible; and
 - ii. avoiding grade 1 agricultural land unless there are exceptional circumstances where the benefits of the proposal significantly outweigh the loss of land;
- b. recognise the intrinsic character and beauty of the countryside; and
- c. not give rise to noise, odour, obtrusive light or other impacts that would adversely affect the use and enjoyment of the countryside by others.

7.14 Policy GMC1 of the Godmanchester Neighbourhood Plan (2017) states that:

Development in the Godmanchester Neighbourhood Plan Area shall be focused within or adjoining the settlement boundary. Development outside the settlement boundary is classified as being in the 'open countryside'. Development in the 'open countryside' will only be acceptable where it is a use which is appropriate to the open countryside and should seek to preserve and protect our best and most versatile agricultural land and land of local environmental value including, but not limited to, The Godmanchester Nature Reserve at Cow Lane 12, The East Side and West Side Commons in Godmanchester and the Ouse Valley.

7.15 Policy LP 10 states that development will be restricted to the limited and specific opportunities as provided for within the other policies within the local plan. LP 19 supports businesses with a genuine need to be located in the countryside, to assist farms to maintain their viability and to set out the Council's approach to proposals for other businesses in the countryside and LP33 which supports the conversion of rural buildings. Therefore policies LP19 and LP33 are considered relevant policies for consideration of providing those limited and specific opportunities for this application to be assessed.

7.16 It is considered that, although the proposal involves placing shipping containers on the ground and no foundation works are required, the scheme is not a temporary one. Therefore, it is considered that the scheme would be contrary to Policy LP10 part a. and Policy GMC1 of the Godmanchester Neighbourhood Plan (2017) as it results in the irreversible loss of Grade 2 Agricultural

land. LP 10 also requires that all development must recognise the intrinsic character and beauty of the countryside. This criterion would remain a point of issue which is discussed in the following sections of this report.

- 7.17 Policy LP19 states that a proposal for business uses (Class B) will only be supported where it fulfils the requirements of one of the following categories:
- a. It is within a defined established employment area;
 - b. It immediately joins and is capable of being integrated within an Established Employment Area;
 - c. It involves the reuse of land in use or last used for business uses; or
 - d. It involves the reuse or replacement of existing buildings as set out in Policy LP33 'Rural Buildings'.
- 7.18 Introductory paragraph 6.19 of Policy LP19 explains that the purpose of the policy is to promote a vibrant rural economy to support businesses with a genuine need to be located in the countryside, to assist farms to maintain their viability and to set out the Council's approach to proposals for other businesses in the countryside.
- 7.19 In terms of meeting the criteria laid out in LP19, the application site is not located within a defined established employment area as defined within LP18 (Established Employment Areas) of the local plan; does not immediately join or is capable of being integrated within an Established Employment Area; does not involve the reuse of land in use or last used for business uses; and does propose to reuse or replace an existing building as set out in Policy LP33 'Rural Buildings' as discussed below.
- 7.20 LP33 states a proposal for the conversion of a building in the countryside that would not be dealt with through 'Prior Approval/ Notification' will be supported where it can be demonstrated that:
- a. the building is:
 - i. redundant or disused;
 - ii. of permanent and substantial construction;
 - iii. not in such a state of dereliction or disrepair that significant reconstruction would be required; and
 - iv. structurally capable of being converted for the proposed use; and
 - b. the proposal:
 - i. would lead to an enhancement of the immediate setting; and

- ii. any extension or alteration would not adversely affect the form, scale, massing or proportion of the building.

A proposal for the replacement of a building in the countryside will be supported where criteria a, i to iii above are fulfilled and the proposal would lead to a clear and substantial enhancement of the immediate setting.

7.21 The proposal seeks for a change of use to the exterior of the building for the storage of containers and does not seek to convert the central barn itself. Therefore, it is considered not to therefore would not comply with the criteria set out in LP33.

7.22 Policy LP19 goes on to state that a proposal for farm diversification will be supported where it has demonstrated that it is complementary and subsidiary to the ongoing agricultural operations of the farm business and it meets criteria e-h below.

e. opportunities to reuse existing buildings have been fully explored; and replacement or new build are only proposed where it can be demonstrated that no suitable reuse opportunities are available;

f. any opportunities to make more efficient use of land within the existing site boundary are not suitable for the proposed use;

g. it avoids the irreversible loss of the best and most versatile agricultural land (Grade 1 to 3a) particularly Grade 1 where possible and should use land of lower agricultural value in preference to land of higher agricultural value; and

h. the scale, character and siting of the proposal will not have a detrimental impact on its immediate surroundings and the wider landscape.

7.23 The applicant has provided no information to support the farm diversification criteria e - g of policy LP19 and in any event, the site would remain contrary to criteria h of the policy which requires that development scale, character and siting will not have a detrimental impact on its immediate surroundings and the wider landscape, which is discussed in the following sections of this report.

7.24 It is noted that the application refers to a container storage unit that is sited 0.6 miles to the north of the site at Bleakley Farm of a similar nature. Officers have reviewed this site and planning history and note that application 18/00385/FUL for a Partial Retrospective - Change of use from builders' storage to Self-Storage container storage facility including siting of 146 containers (97 retrospective) and storage of 3 caravans was issued in May 2019. This application was presented by LPA officers to members of the DMC meeting with a recommendation of approval, as a

departure from the local plan. The DMC members voted in favour of the proposal and permission was given.

- 7.25 As such the application is a material consideration of this application and has been assessed as below.
- 7.26 Application 18/00385/FUL was submitted and assessed as an extension of an existing business of use class B. The application in front of members and currently under determination would not fall within the same category as detailed in the sections above. Application 18/00385/FUL is therefore not directly comparable to the application in question and given little weight as a material consideration.
- 7.27 For the reasons outlined above, refusal reason 1 of 22/00361/FUL has not been addressed.
- 7.28 In conclusion, the proposal lies with the countryside and fails to seek to use land of lower agricultural value in preference to land of higher agricultural value to avoid the irreversible loss of best and most versatile land and fails to recognise the intrinsic character and beauty of the countryside. The proposal is unable to be considered under the limited and specific opportunities provided for by other policies within the local plan as set out in policy LP10 of the local plan, as the proposed dwelling fails to meet the criterion set out in policies LP19 and LP 33. There is not considered to be a genuine need for this storage use to be located in the countryside and as the site does not form part of an existing farm, it is considered the proposal would not constitute farm diversification. Neither is the proposal considered to be an expansion of an existing business, as the storage use proposed is unrelated to the agricultural use of the site. As such, the principle of development fails to accord with policies LP2, LP10, LP19 and LP33 of Huntingdonshires Local Plan to 2036, is contrary to Section 12 of NPPF (December 2023) and Policy GMC1 of the Godmanchester Neighbourhood Plan. The principle of development is therefore considered to be unacceptable.

Impact upon the Character of the Area

- 7.29 This application seeks retrospective planning permission for the change of use of hardstanding storage area to container storage area.
- 7.30 As previously detailed the site sits within the countryside forming part of a larger agricultural unit.
- 7.31 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the

area's character and identity and successfully integrates with adjoining buildings and landscape. The above policies are reinforced by Paragraphs 128 (d) and (e) and Paragraph 135 (b) and (c) of the NPPF that seek to maintain an area's prevailing character and ensure development is sympathetic to local character.

- 7.32 The National Design Guide (2020) sets out the characteristics of well-designed places and demonstrates what good design means in practice. It covers the following: context, identity, built form, movement, nature, public spaces, uses, homes and buildings, resources and lifespan.
- 7.33 The HDS Design Guide (2017) is relevant to the application proposals, in particular chapter 4 and sections 3.7 and 3.8. The guide states that the size, shape, and orientation (the form) of a building can have a significant impact upon its surroundings. The scale, massing and height of proposed development should be considered in relation to that of adjoining buildings, the topography, pattern of heights in the area and views, vistas, and landmarks.
- 7.34 Notwithstanding the above, Policy LP10 of the Local Plan states that all development in the countryside must recognise the intrinsic character and beauty of the countryside and not give rise to impacts that would adversely affect the use and enjoyment of the countryside by others.
- 7.35 Huntingdonshire Landscape and Townscape Assessment SPD (2007) has nine identified landscape character areas of which this site sits within the area defined as Southeast, Claylands. The key characteristics of the area are described within the Huntingdonshire Landscape and Townscape Assessment SPD as including "Subtle variations in topography, including valley sides, gently undulating landform and plateaux, sparsely settled with few villages and tall hedgerows with frequent hedgerow trees are a distinctive feature in the central part of the area. Woodland cover increases towards the south". The site and area surrounding the site reflect these characteristics.
- 7.36 The containers are industrial in appearance of block form and although sat close within the surrounds of a large agricultural building, appear alien features in what is otherwise a rural location within a fairly flat open landscape. This is further exasperated by the colour palate chosen (blue) which is visible through current hedging and tree line which is less effective in screening the containers in the winter months.
- 7.37 Landscape Officers have commented in consultation that the application lacks clarity on the visual effects of the proposed development and it is unclear to what extent the containers are visible below and through the canopies of the trees and the blue

colour of the containers are incongruous with their surroundings. As such the Landscape officer recommended that a visual survey of the site is undertaken by a suitably qualified landscape consultant, to establish any mitigation that may help in better integrating the proposed development with the rural landscape.

- 7.38 The applicant has responded to comments made by the Landscape Officer detailing that it is 'impossible to see the containers from any distance away, as they are surrounded by a deep border of mature woodland' and 'no containers have been placed within the tree line though some are under the canopy'. The applicant has declined to submit a visual survey due to the unfair expense of doing so where a further container storage unit with blue painted containers sits less than a mile from the site.
- 7.39 Therefore refusal reason 2 of 22/00361/FUL has not been addressed.
- 7.40 As such, it is considered that the proposed development fails to recognise the intrinsic character and beauty of the countryside, fails to respond positively to its context, fails to contribute positively to the area's character and identity, and fails to successfully integrate with the adjoining open landscape and is therefore contrary to Chapter 12 of the NPPF (2023) and Policies LP10, LP11 and LP12 of the Local Plan.

Impact on Residential Amenity

- 7.41 Policy LP14 of the Local Plan states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.42 A site visit was carried out by the case officer, and it was noted that a dwelling house to the East of the main farm buildings and container storage area. This dwelling uses the same access as that of the proposal and is approximately 115 meters from the closest container. Officers consider that the increased volume of traffic using the access road and visits to the location would potentially cause harm to the current and future occupiers of this dwelling by noise and light from the security lighting present.
- 7.43 The application includes a lighting report produced by 'Green Environmental Consultants' which details that the lights are of PIR design, compliant with the tolerances prescribed in the Institute of Lighting Professionals and turn off after 60 seconds of illumination and angled to within the area of the stored containers only. Officers have noted the above and consider that the details submitted are sufficient to maintain a satisfactory level of residential amenity for the adjacent dwelling.
- 7.44 Notwithstanding the above, Officers consider that the type, illuminance level and constraints of the area lit should be secured

by condition to protect the residential amenity of the adjacent dwelling.

- 7.45 Officers have not been provided with the hours of operation for the site and it is considered that frequent trips to the site by vehicles during unreasonable hours would cause harm, by noise, to the residential amenity of occupiers of the adjacent dwelling. Officers consider that the imposition of a condition detailing hours of operation would be relevant to the planning and the development if permitted and necessary to secure a satisfactory level of residential amenity.
- 7.46 As such, subject to condition, it is considered that the proposed development would maintain a high standard of amenity for all occupiers of neighbouring land and buildings and therefore accords with Policy LP14 of Huntingdonshire's Local Plan in this regard.

Access and Transport

- 7.47 Policy LP17 of the Local Plan states that a proposal will be supported where it incorporates appropriate space for vehicle movements, facilitates accessibility for service and emergency vehicles and incorporates adequate parking for vehicles and cycles. It requires a clear justification for the space for vehicle movements and the level of vehicle and cycle parking proposed to be provided.
- 7.48 Officers acknowledge the representations received in relation to the affect on highway safety from third parties.
- 7.49 The applicant includes a swept path analysis and a response to the Highways officer from the applicant relating to the initial consultation process. The applicant details that additional traffic to the site would be approximately 5 vehicles per week and that the entrance is utilised by both paying customers of the storage facility and agricultural vehicles.
- 7.50 CCC Highways have reviewed the submitted details and have comments that

“Following a careful review of the documents provided to the Highway Authority as part of the above planning application I have noted that tracking and additional information regarding the type and number of vehicles using the access has been provided.

The vehicle numbers are acceptable however the tracking shows that the vehicles will be using the 'hardcore' area on the northwestern side of the access. It appears that passing vehicles are already doing this as the concrete track is only 4.5m wide and the kerb and verge have been over-run. This could result in loose

material being deposited onto the carriageway which could lead to a loss of control by two wheeled vehicles.

To prevent this the access should be hard surfaced for a minimum width of 6m for a length of 10m from the carriageway edge. The section of the access within the public highway should be constructed to a specification agreed with the local highway authority. Our Asset Information Searches team will be able to provide a record of the highway boundary Highway searches Cambridgeshire County Council”

CCC Highways have recommended a number of conditions to mitigate the effect of the proposal on the highway should the application be given permission.

- 7.51 Whilst the applicant owns adjoining land, and the site consists of a large area of hardstanding, there is no indication of parking provision for vehicles making use of the proposed storage containers.
- 7.52 Although the use is not considered to generate significant traffic volumes simultaneously, the lack of clarity and certainty regarding space available for parking means that the Local Planning Authority is unable to be satisfied that the proposals would not lead to a detrimental impact upon the neighbouring properties. However, officers consider that the provision of parking could be secured by condition should the application be given permission.
- 7.53 Given the above and subject to the appropriate conditions, it is considered that the proposal demonstrates it would provide safe and suitable access to the highway and able to protect the safe function of the highway and meet the needs of existing and future occupiers. Therefore, the proposed development is considered to be acceptable with regard to Parking and Vehicle Movement and accords with Policy LP17 Huntingdonshire’s Local Plan and Section 9 of the NPPF (December 2023).

Trees, Woodland, Hedges and Hedgerows

- 7.54 Policy LP31 of the Local Plan states a proposal will be required to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated.

“Where investigations show that such adverse impacts are possible a statement will be required that: a. assesses all trees, woodland, hedges and hedgerows that would be affected by the proposal, describing and assessing their value; b. sets out how the details of the proposal have been decided upon in terms of their impact on the value of trees, woodland, hedges and hedgerows and how adverse impacts will be avoided as far as possible, or if unavoidable how they will be minimised as far as possible.”

“A proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development. In such cases the proposal will be expected to make reference to and follow the guidance contained in the Council's A Tree Strategy for Huntingdonshire (2015) or successor documents.

Loss, threat or damage to any tree, woodland, hedge or hedgerow of visual, heritage or nature conservation value will only be acceptable where:

- c. it is addressed firstly by seeking to avoid the impact, then to minimise the impact and finally where appropriate to include mitigation measures; or
- d. there are sound arboricultural reasons to support the proposal.

Where impacts remain the need for, and benefits of, the development in that location must clearly outweigh the loss, threat or damage. Where loss, threat or damage cannot be fully addressed through minimisation and/ or mitigation measures the proposal may be supported if alternative measures such as reinstatement of features, additional landscaping, habitat creation or tree planting will compensate for the harm and can be implemented and established before development starts.”

- 7.55 Officers have noted that there are established trees and hedgerows that bound the site to the North, South and East on which the root systems potentially have the hardcore hardstanding laid with containers atop. Whilst it is acknowledged that the central hardcore has been laid some time, it does appear that some peripheral hardcore on which containers are sited is new to the East and West of the site.
- 7.56 The application is accompanied by a letter from David Brown Landscape Design detailing the effect of the hardcore on the surrounding trees. In summary, Mr Brown states that the hardcore has been in place for some time and that the trees and hedges are in good health and condition. Concluding that the containers are using the same hardstanding and that there is no risk of harm to the root systems, and crowns of the retained trees and hedgerows. Mr Brown states the containers provide protection from damage to the trees in the future.
- 7.57 HDC Arboricultural Officer comments that “If the hardcore has been laid over the existing ground surface the risk is compaction of the soil, physical root damage through crushing and a reduction in oxygen available to the tree roots. This can lead to a long term decline of the tree.

If there has been soil strip, there is a high probability of significant rooting mass being lost. This removed the trees ability to absorb water, nutrients and oxygen. If larger structural roots have been severed there is the risk of trees collapsing in strong winds.

Both scenarios will impact on the trees and lead to a decline in vitality, which will be displayed as sparse canopies, dieback of the branch tips and prolific deadwood. These symptoms are likely to take several years to show.

The applicant has not provided a Tree Survey, Arboricultural Impact Assessment and Tree Protection Plan in order to fully apprise the impacts. I am of the opinion the proposal would cause harm to the trees given the close proximity, which is against Policy 31 – Trees & Woodland, and should therefore be refused”.

- 7.58 Therefore refusal reason 5 of 22/00361/FUL has not been addressed.
- 7.59 In conclusion, the containers and hardcore have been laid within the root protection zones and within the canopy of the boundary trees of the site. The applicant has declined to submit a Tree Survey, Arboricultural Impact Assessment and Tree Protection Plan in order to allow officers to assess the long terms impacts on the trees on site. Therefore, it is considered that the proposed development fails to seek to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development and is therefore contrary to Policy LP31 of Huntingdonshire’s Local Plan in this regard.

Ecology and Biodiversity

- 7.60 Policy LP30 of the Local Plan requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible, through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type, and location of development. Paragraph 8.12 of the Local Plan points out that in order to ensure the quality of the assessment it should be completed by an appropriately qualified specialist.
- 7.61 The application site is situated in the countryside and surrounded by open fields however the containers are sat within an extended area of hardstanding of which any biodiversity present at the time of the laying of additional hardcore and placing of containers will now be lost. Therefore, the opportunity to preserve any biodiversity connected to the land beneath the hardcore has passed.
- 7.62 In terms of biodiversity in the wider area, environmental records suggest white letter hairstreak butterflies are present.
- 7.63 Landscape Officers have been consulted with regard to the application and make a recommendation to help support the rare butterfly species, a new mixed native hedge should be planted to

include a minimum of 20% Elm and thereafter maintained at a height of under 3m to prevent it from becoming susceptible to Dutch Elm Disease.

- 7.64 The applicant has responded to Landscape Officer comments and agrees to plant the hedgerow in line with the officer's recommendation. Details of which can be secured by condition should the application be given permission.
- 7.65 Officers note that the application includes a lighting report produced by 'Green Environmental Consultants' which details that the lights are of PIR design, compliant with the tolerances prescribed in the Institute of Lighting Professionals and turn off after 60 seconds of illumination. In addition, the report states that the lights are angled such that there is no light emitted into the trees and hedgerows to the rear of the containers. The report confirms that the site is not a highly valued route for commuting bats and that winter months when the lights will mostly be in use, would be a time of hibernation for such creatures.
- 7.66 In conclusion, the retrospective nature of the application means that any potential biodiversity loss or preservation cannot be assessed. The application is supported by a report that details the site does not fall within bat roosting route and supports the lighting angle and luminance to prevent impact on any potential biodiversity. The landscape officer has identified the presence of a rare species of butterfly and has recommended the planting of hedges to assist in the retention of the species in the area. The above can be secured by condition. Therefore, subject to conditions, the application is considered unlikely to cause significant impact on the remaining biodiversity and would not result in harm to protected species or wildlife. On balance, subject to the above conditions, the proposal would meet the aims of Policy LP30 of the Huntingdonshire's Local Plan, The Wildlife and Countryside Act (1981), the Habitats and Protected Species Regulations (2017) and the National Planning Policy Framework (December 2023).

Flood Risk

- 7.67 Policy LP5 of the Local Plan to 2036 and The National Planning Policy Framework (NPPF) (2021) paragraphs 167 and 168, states proposal will only be supported where all forms of flood risk have been addressed.
- 7.68 The site lies within Flood Zone 1 which means that it has a low probability of fluvial flooding. The proposal involves the change of use of an agricultural building and land to the commercial siting of storage containers - which is classified as 'Less Vulnerable' development. This type of development is considered to be acceptable in Flood Zone 1 and accordingly Exception or Sequential Tests are not required.

- 7.69 As such, it is considered that the proposed development accords with Policy LP5 of the Local Plan to 2036 and The National Planning Policy Framework (NPPF) (2021) paragraphs 167 and 168.

Conclusion and Planning Balance

- 7.70 The application is retrospective as 55 containers are already on site and the use as storage is taking place. The proposal seeks to retain the containers on site and hardstanding within a former agricultural site for the use by paying customers for storage.

- 7.71 The previous application under planning reference was refused for the following reasons which has not been fully overcome.

1. The proposed development site lies in the open countryside which would represent an encroachment of built development into the countryside, outside of the built-up area of any settlement. The proposal does not accord with any of the limited or specific opportunities for development in the countryside as set out within the policies of Huntingdonshire's Local Plan, which restrict development in the countryside to protect the intrinsic character and beauty of the countryside. Furthermore, the proposed development would result in the loss of Grade 2 Agricultural Land for which exceptional circumstances have not been demonstrated. The proposal would therefore be contrary to the requirements of Policies LP2 and LP10 of the Huntingdonshire Local Plan (2019). The proposed development is contrary also to Policy GMC of the Godmanchester Neighbourhood Plan 2017 - 2036, due to its location and outside of the detailed settlement boundary. The proposal does not seek to preserve and protect the most versatile agricultural land.

2. The proposed development by virtue of its design, scale and massing would appear as a prominent and alien feature in the countryside, failing to integrate with the surrounding landscape and failing to respect the intrinsic character and beauty of the countryside. The proposal would therefore be contrary to Policies LP10, LP11, LP12 and LP19 of the Huntingdonshire Local Plan (2019).

3. The application contains insufficient submitted information to demonstrate that the proposal would not result in harm to the residential amenity of neighbouring buildings. The proposal is therefore contrary to Policy LP14 of the Huntingdonshire Local Plan (2019).

4. The application contains insufficient submitted information to enable the impact of the proposed development on the local highway network to be assessed. The proposal therefore fails to comply with the requirements of Policy LP17 of the

Huntingdonshire Local Plan (2019) and Section 9 of the National Planning Policy Framework (2021).

5. The application contains insufficient submitted information to demonstrate that the proposal would not result in harm to trees, hedgerows and hedges and would not result in harm to protected species or wildlife. The proposal is therefore contrary to Policy LP30 and LP31 of the Huntingdonshire's Local Plan (2019), The Wildlife and Countryside Act (1981), the Habitats and Protected Species Regulations (2017) and the National Planning Policy Framework (2021).

7.71 When taken as a whole, it is considered that the proposed development would result in an unacceptable form of development in the countryside that:

- would result in an unacceptable encroachment of development into the countryside;
- would result in the unjustified loss of an existing agricultural building and land;
- would not recognise the intrinsic character and beauty of the countryside given the scale and siting of various storage containers and ;
- fails to demonstrate that the proposal would not result in harm to trees, hedgerows and hedges.

7.72 There are very limited economic benefits of the proposal given the nature of the proposed business. The identified harm therefore outweighs any such benefits.

7.73 Having regard to all relevant material considerations, it is concluded that the proposal would not accord with local and national planning policy. Therefore, it is recommended that planning permission be refused.

8. RECOMMENDATION – REFUSAL for the following reasons:

8.1 The proposed development site lies in the open countryside which would represent an encroachment of built development into the countryside, outside of the built-up area of any settlement. The proposal does not accord with any of the limited or specific opportunities for development in the countryside as set out within the policies of Huntingdonshire's Local Plan to 2036, which restrict development in the countryside to protect the intrinsic character and beauty of the countryside. Furthermore, the proposed development would result in the loss of Grade 2 Agricultural Land for which exceptional circumstances have not been demonstrated. The proposal would therefore be contrary to the requirements of Policies LP2 and LP10 of the Huntingdonshire Local Plan to 2036.

- 8.2 The proposed development is contrary to the Godmanchester Neighbourhood Plan 2017 to 2036, Policy GMC1: The importance of the countryside due to its location and outside of the detailed settlement boundary. The proposal does not seek to preserve and protect the most versatile agricultural land.
- 8.3 The proposed development by virtue of its design, scale and massing would appear as a prominent and alien feature in the countryside, failing to integrate with the surrounding landscape and failing to respect the intrinsic character and beauty of the countryside. The proposal would therefore be contrary to Policies LP10, LP11, LP12 and LP19 of the Huntingdonshire Local Plan.
- 8.4 The proposed development, by virtue of the placement of containers on the root protection zones of the surrounding trees and insufficient information submitted for officers to assess the likely impact on the longevity of the trees, fails to accord with policy LP31 of Huntingdonshires Local Plan to 2036.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs

CONTACT OFFICER: Andrea Dollard

Parish Comments

Planning Application 23/02284/FUL

Location Agricultural Buildings Depden Lodge Farm Ermine Street

Work requested Change of use from hardstanding storage area to container storage area

Response Date 20 December 2023

Recommendation: Recommend

This recommendation is based on the information available to the Planning Portfolio at the time of the meeting

Development Management Committee



Scale = 1:2,500

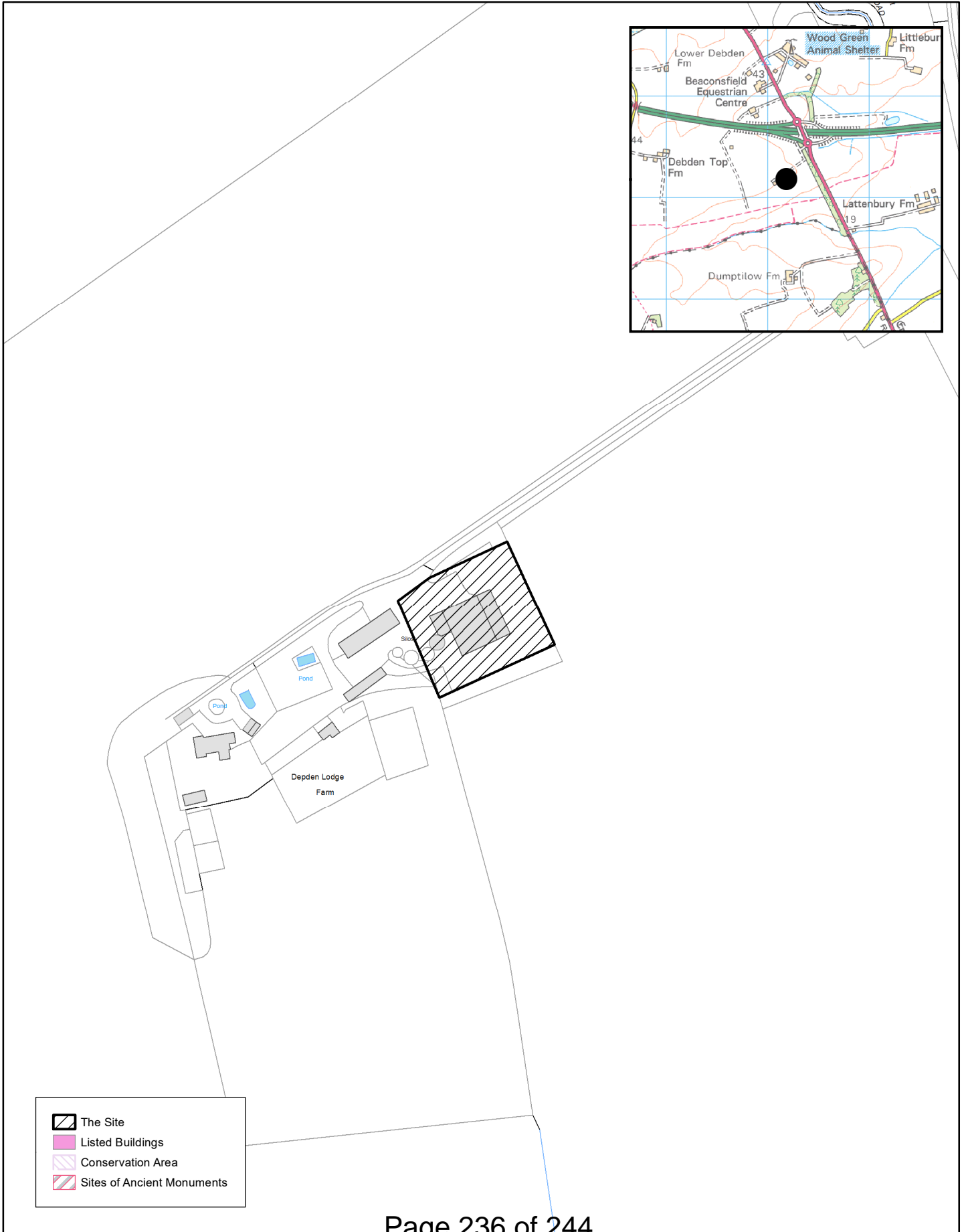
Date Created: 07/05/2024

Application Ref: 23/02284/FUL

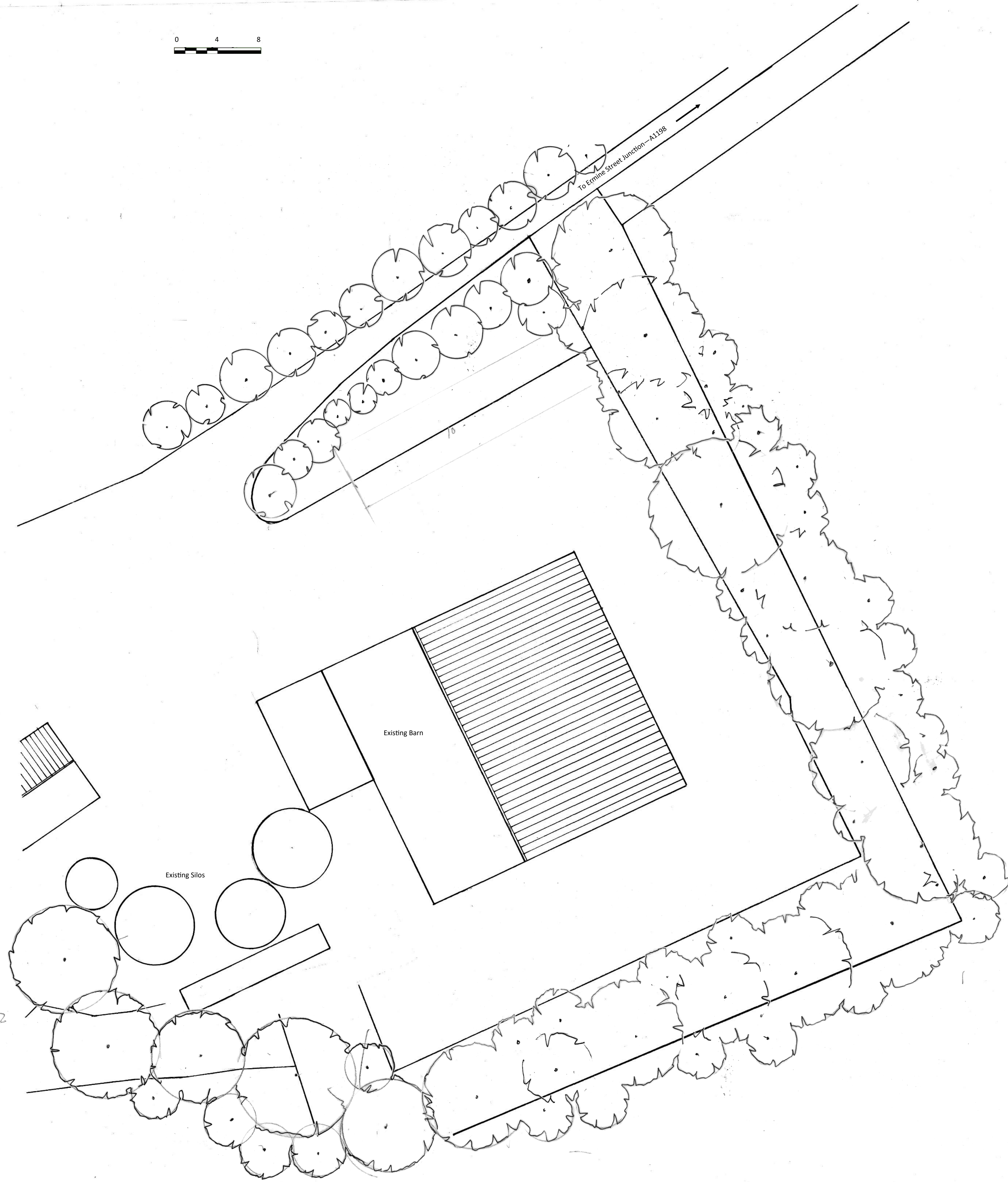
Location: Godmanchester



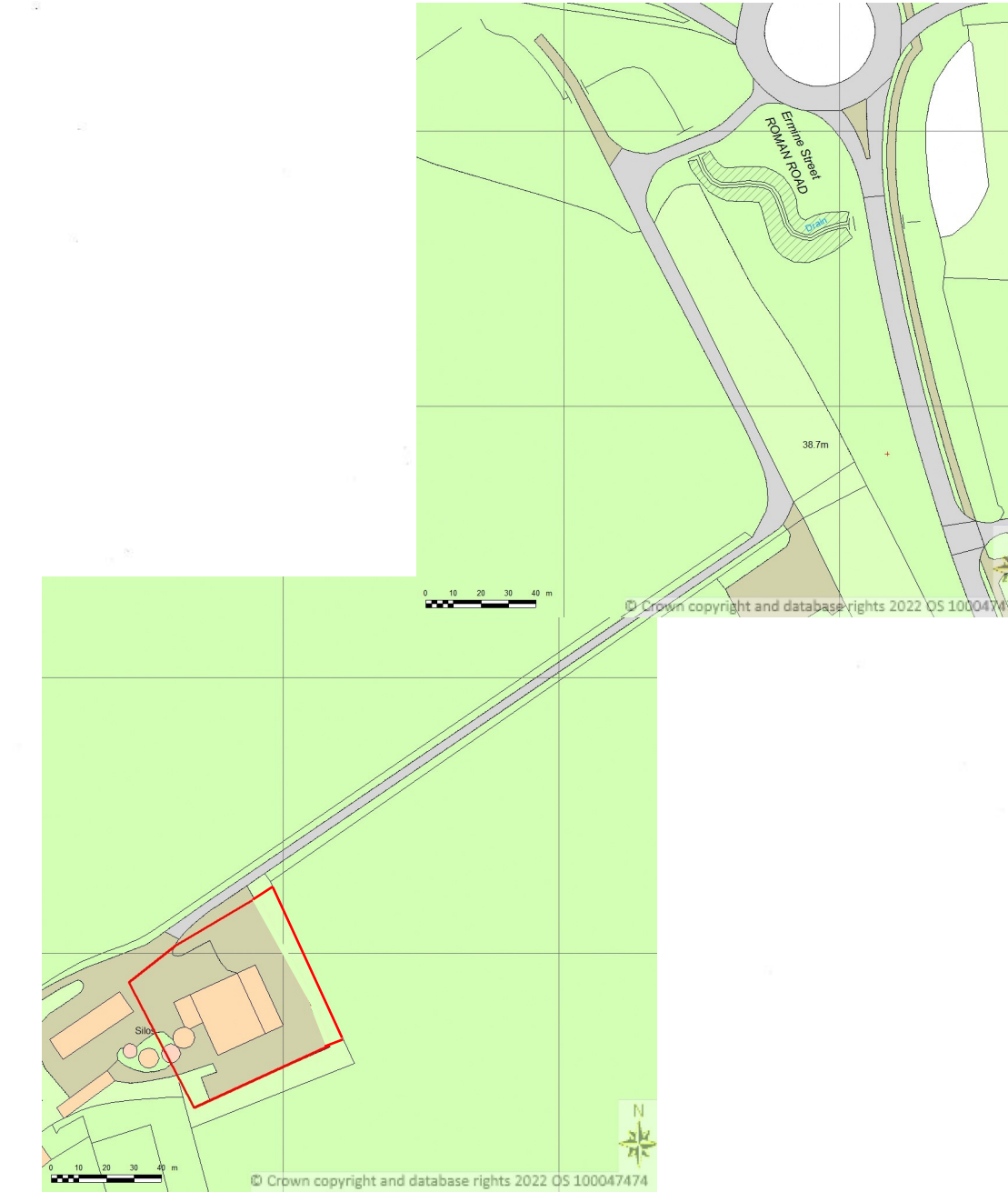
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Ordnance Survey HDC 10002322



- The Site
- Listed Buildings
- Conservation Area
- Sites of Ancient Monuments



SITE LOCATION PLAN
 AREA 5 HA
 SCALE 1:2500 on A4
 CENTRE COORDINATES: 526224, 267225



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Notes

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Client
 Godmanchester Self Storage

Job Title
 Change of use from hardstanding storage area to container storage area.
 Depden Lodge Farm,
 Lattenbury Hill,
 Godmanchester,
 Huntingdon PE28 9PA

Drawing Title
 Block Plans as existing
 and
 Site Location Plan

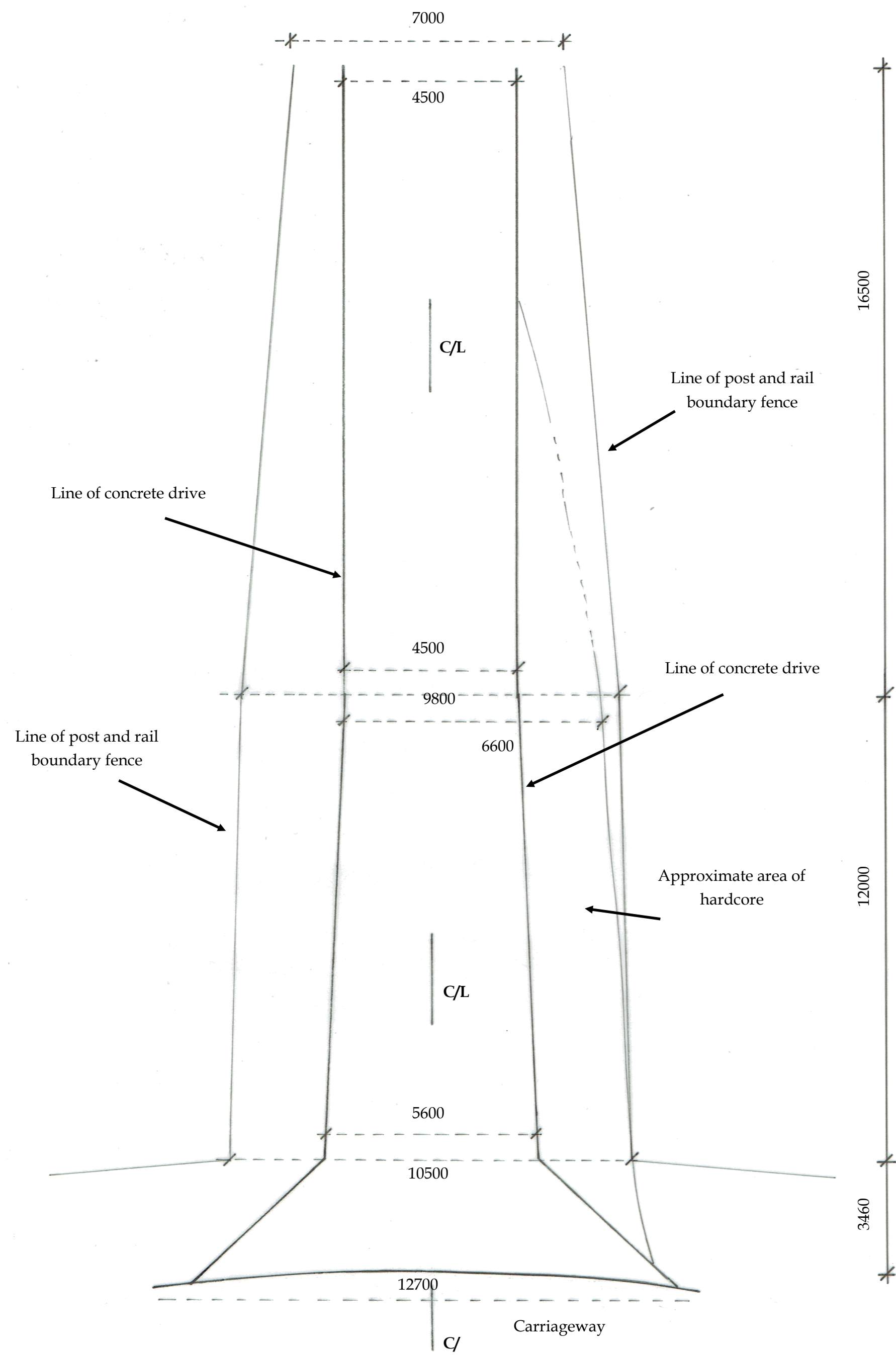
Scale 1:200 & 1:2500

Date 23rd January 2022 Drawn By jk

Dwg. No. 012122 Rev.

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Client
 Godmanchester Self Storage

Job Title
 Change of use from hardstanding storage area to container storage area.
 Depden Lodge Farm,
 Lattenbury Hill,
 Godmanchester,
 Huntingdon PE28 9PA

Drawing Title
 Layout of existing site entrance

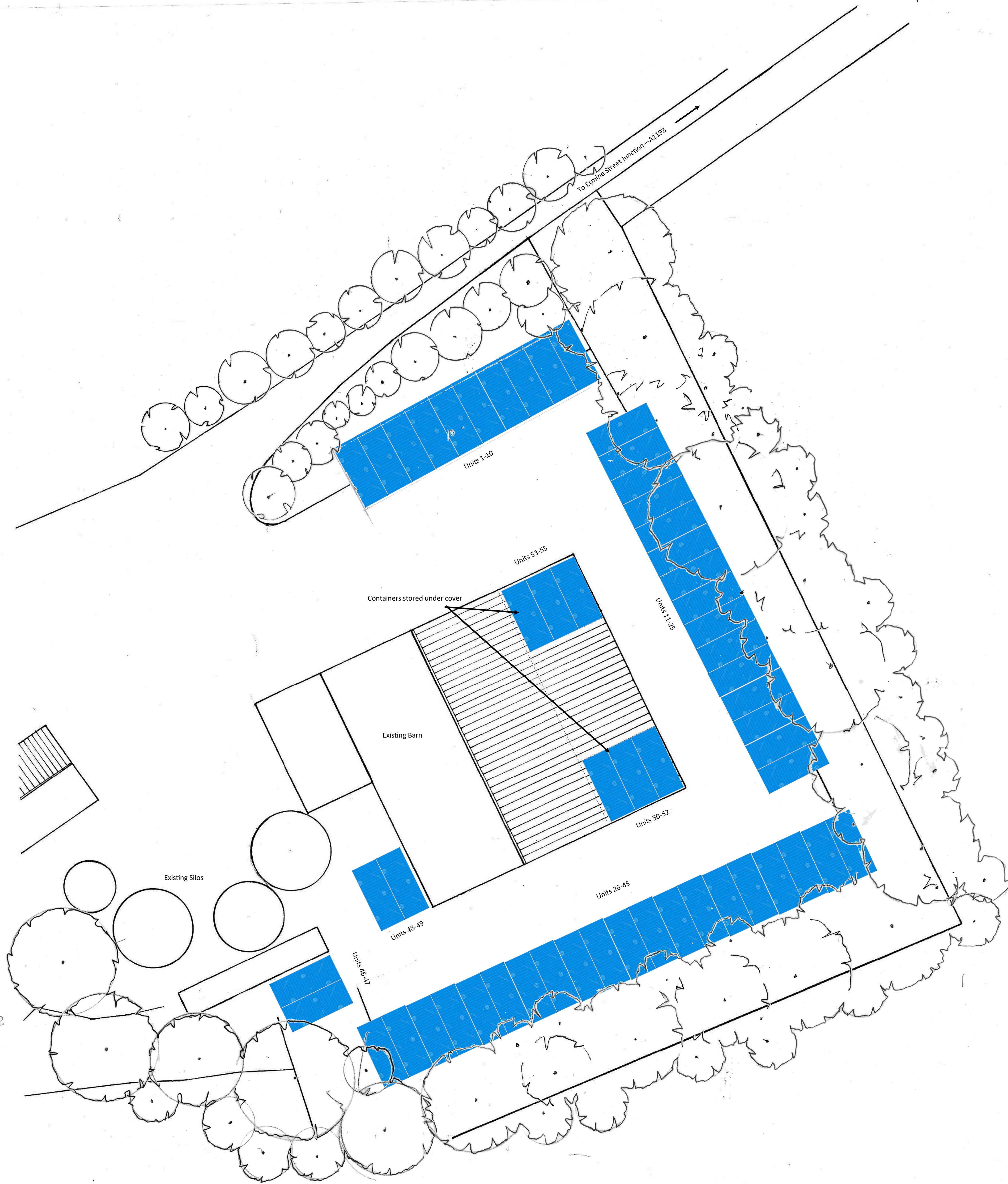
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Date 23rd January 2022 Drawn By jk

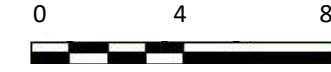
Dwg. No. 062122 Rev.

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20ft x 8ft (2.43m x 6.09m) container



Notes:

Date	Revisions

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Client: Godmanchester Self Storage

Job Title: Change of use from hardstanding storage area to container storage area.
 Depden Lodge Farm,
 Lattenbury Hill,
 Godmanchester,
 Huntingdon PE28 9PA

Drawing Title: Block Plans as proposed

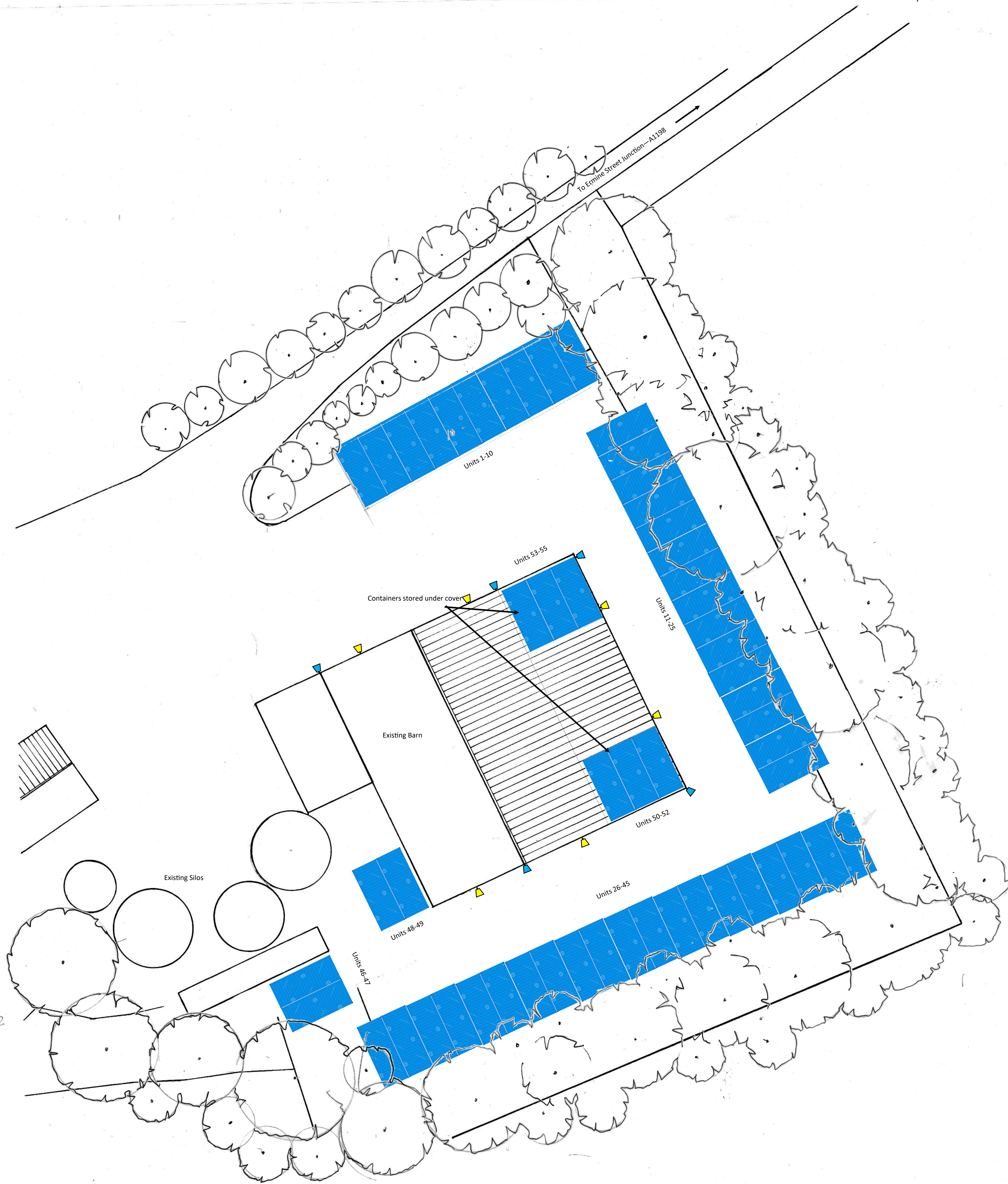
Scale: 1:200

Date: 23rd January 2022 Drawn By: jk

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20ft x 8ft (2.43m x 6.09m) container



Legend.

- PIR controlled security floodlight
- Security camera

Notes.

Date Revisions

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Client
 Godmanchester Self Storage

Job Title
 Change of use from hardstanding storage area to container storage area.
 Depden Lodge Farm,
 Lattenbury Hill,
 Godmanchester,
 Huntingdon PE28 9PA

Drawing Title

Block Plans as proposed with
 PIR controlled lights and
 security cameras.

Scale 1:200

Date 23rd January 2022 Drawn By jk

Dwg. No.

052122

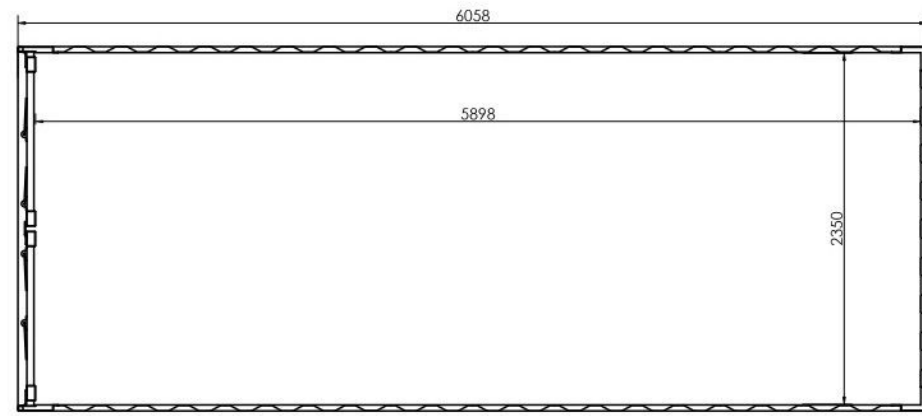
Rev.

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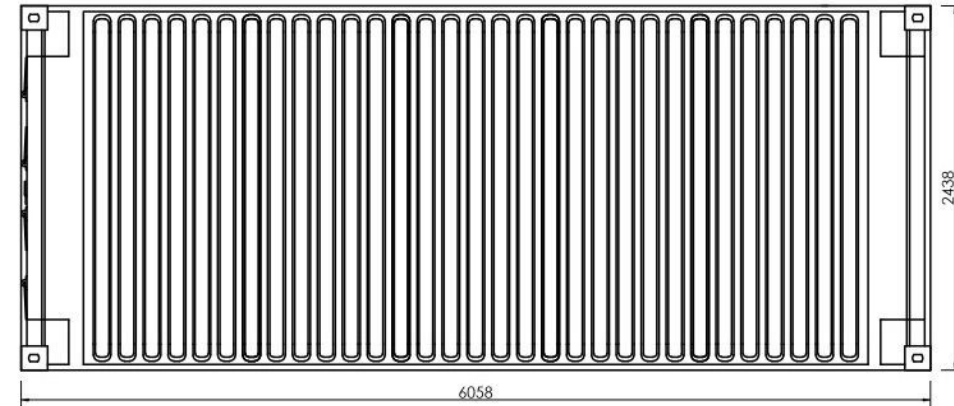
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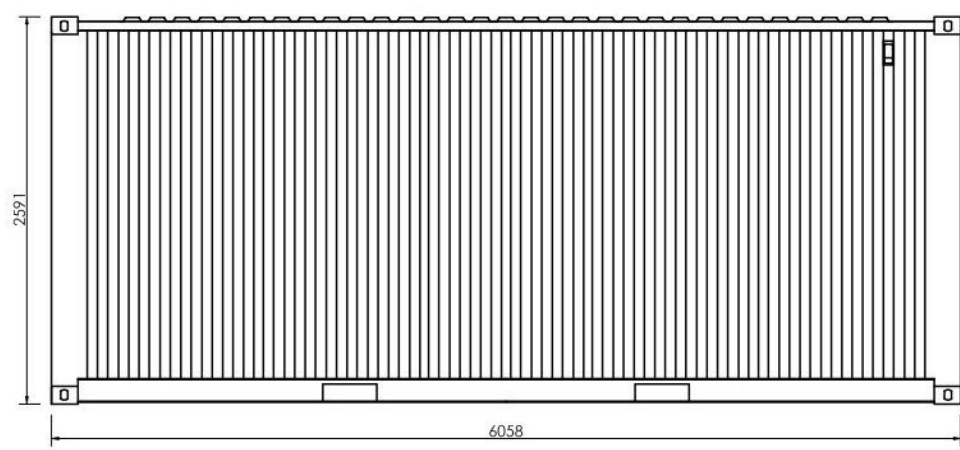
20ft Shipping Container - Plan



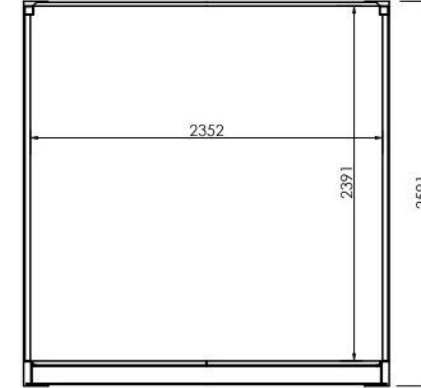
20ft Shipping Container - Roof Plan



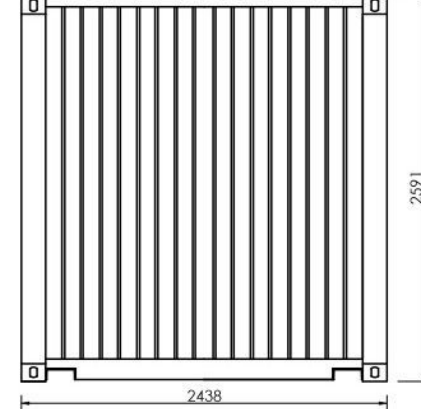
20ft Shipping Container - Side Elevation



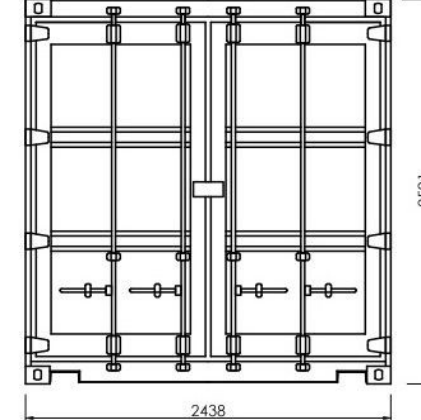
20ft Shipping Container - Section



20ft Shipping Container - Front Elevation



20ft Shipping Container - Door Elevation



Notes

Date Revisions

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TN13 3UN

Client Godmanchester Self Storage

Job Title
Change of use from hardstanding storage area to container storage area.
Depden Lodge Farm,
Lattenbury Hill,
Godmanchester,
Huntingdon PE28 9PA

Drawing Title

Plans and elevations of 20ft container.

Scale 1:50

Date 17th August 2022 Drawn By jk

Dwg. No.

042122

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Planning Appeal Decisions Since April 2024 Committee

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Ref No	Appellant	Parish	Proposal	Site	Original Decision	Delegated or DMC	Appeal Determination	Costs
20/002 10/ FUL	Mr James Clarke (Rally Karting / Wyton Mowers)	Kings Ripton	Erection of dwelling and ancillary business facilities including reception area, office, exterior stair case, viewing platform and one flagpole and erection of temporary mobile home.	Rally Karting Sapley Road Kings Ripton Huntingdon PE28 2NX	Refused	Delegated	Appeal Dismissed	N/A
23/004 86/ FUL	Mr Collin Harris	Farcet	Change of use to commercial vehicle storage and depot (part retrospective)	The Plough Milk and Water Drove Farcet PE7 3DR	Refused	Delegated	Appeal Dismissed	N/A

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